



**MINUTES OF THE COUNCIL MEETING OF THE HINDMARSH SHIRE COUNCIL HELD
5 DECEMBER 2018 AT THE COUNCIL CHAMBERS, 92 NELSON STREET
NHILL COMMENCING AT 3:00PM.**

AGENDA

1. Acknowledgement of the Indigenous Community and Opening Prayer

2. Apologies

3. Confirmation of Minutes

4. Declaration of Interests

5. Public Question Time

6. Deputations

7. Correspondence

8. Assembly of Councillors

8.1 Record of Assembly

9. Planning Permit Reports

9.1 Application for Planning Permit 1600-2018 – Construction of a Store – Lot 1
TP249484 – 2 Faith Street Dimboola

9.2 Application for Planning Permit 1601-2018 – Construction of a Carport – CA5B

Psh Jeparit (31A Lake Road Jeparit)

10. Reports Requiring a Decision

- 10.1 Review of Section 86 Special Committees
- 10.2 Future Meeting Dates
- 10.3 National Tidy Towns Awards

11. Special Committees

- 11.1 Rainbow Town Committee
- 11.2 Yurunga Homestead Committee

12. Late Reports

No report

13. Other Business

14. Confidential Matters

- 14.1 Sale of Properties for Unpaid Rates and Charges

15. Meeting Close

Present:

Crs R Ismay (Mayor), R Lowe (Deputy Mayor), R Gersch, D Nelson, T Schneider

Apologies: Cr D Colbert

In Attendance:

Mr Greg Wood, (Chief Executive Officer), Ms Monica Revell (Director Corporate and Community Services), Mr Shane Power (Director Infrastructure Services), Ms Shelley Gersch (Executive Assistant), Ms Sarah Dickinson (Administrative Assistant Infrastructure Services)

1. ACKNOWLEDGEMENT OF THE INDIGENOUS COMMUNITY AND OPENING PRAYER

Cr R Ismay opened the meeting at 3:00pm by acknowledging the Indigenous Community and offering the opening prayer.

2. APOLOGIES

MOVED: Crs R Lowe/R Gersch

Cr D Colbert apology be accepted.

CARRIED

3. CONFIRMATION OF MINUTES

RECOMMENDATION:

That the Minutes of the Ordinary Council Meeting held on Wednesday 21 November 2018 at the Council Chambers, 92 Nelson Street, Nhill as circulated to Councillors be taken as read and confirmed.

MOVED: Crs R Gersch/T Schneider

That the Minutes of the Ordinary Council Meeting held on Wednesday 21 November 2018 at the Council Chambers, 92 Nelson Street, Nhill as circulated to Councillors be taken as read and confirmed.

CARRIED

Attachment: 1

4. DECLARATION BY COUNCILLORS OR OFFICERS OF ANY DIRECT OR INDIRECT INTEREST IN ANY ITEM ON THE AGENDA.

- Direct; or
- Indirect interest
 - a) by close association;
 - b) that is an indirect financial interest;
 - c) because of conflicting duties;
 - d) because of receipt of an applicable gift;
 - e) as a consequence of becoming an interested party; or
 - f) because of an impact on residential amenity.

Declaration of direct or indirect interest must also be advised by Councillors at the commencement of discussion of the specific item.

Nil

5. PUBLIC QUESTION TIME

None in attendance

6. DEPUTATIONS

No deputations

7. CORRESPONDENCE

7.1 GENERAL CORRESPONDENCE

Responsible Officer: Chief Executive Officer

No correspondence.

8. ASSEMBLY OF COUNCILLORS

Responsible Officer: Chief Executive Officer

Attachment: 2

Introduction:

The attached Assembly of Councillors Records are presented as an attachment to the Council agenda for the information of Councillors and recorded at the Council meeting as required under s80A Local Government Act 1989.

Options:

1. That Council accepts the Assembly of Councillors Records as presented.

RECOMMENDATION:

That Council accepts the Assembly of Councillors Records as presented.

MOVED: Crs T Schneider/R Lowe

That Council accepts the Assembly of Councillors Records as presented.

CARRIED

Attachment: 2

9. PLANNING PERMITS

9.1 APPLICATION FOR PLANNING PERMIT 1600-2018 –CONSTRUCTION OF A STORE – LOT 1 TP249484 – 2 FAITH ST DIMBOOLA

Responsible Officer:	Director Infrastructure Services
File:	Planning – Applications
Assessment:	200511
Applicant:	Richard Cornwall – TNT Steel Buildings Pty Ltd
Owner:	Mr Karl Spurr
Subject Land:	Lot 1 TP249484, 2 Faith St Dimboola
Proposal:	Construction of a store
Zoning & Overlays:	Farming Zone (FZ); Environmental Significance Overlay Schedule 3 (ESO3) – Wimmera River Protection Environmental Significance Overlay Schedule 6 (ESO6) – Catchments of Wetlands of Conservation Value Floodway Overlay (FO); Land Subject to Inundation Overlay (LSIO)
Attachments:	Attachment 3 – Site plans and elevations

Summary:

This report recommends that Council approve planning permit application 1600-2018 to construct a store at Lot 1 TP249484, 2 Faith Street, Dimboola.

Background:

On 20 September 2018, a planning permit application to construct a store at Lot 1 TP249484, 2 Faith Street, Dimboola was lodged for assessment on a vacant site currently used for farming purposes.

Proposal Details:

The proposal seeks a permit for buildings and works to construct a store for the purposes of farm machinery storage, set back approximately 70 metres from Faith Street. The store is 13.8 metres in length, 9 metres in width, and 5.638 metres in height. The store is located approximately 70 metres to the south west of the nearest dwelling. The subject land is 2.58 ha in size.

Requirement for Permit:

A planning permit is triggered for this application pursuant to the following clauses of the Hindmarsh Planning Scheme:

- Clause 35.07-4 Buildings and Works (in the Farming Zone), which states “a permit is required to construct or carry out any of the following: a building or works associated with a

use in Section 2 of Clause 35.07-1". As the proposal does not comply with the parameters outlined for a Section 1 Use - Rural store, which:

- Must be used in conjunction with Agriculture.
- Must be in a building, not a dwelling and have a gross floor area of less than 100 square metres.
- Must be the only Rural store on the lot;

A planning permit is required, and the proposal can be considered a store. Furthermore, the schedule to the zone triggers the requirement for a planning for a building, being less than the minimum setback from a dwelling not in the same ownership - 100 metres.

The site for the proposed store is not located within any overlays that affect the land.

Definitions

Clause 73.03 of the Planning Scheme defines land uses. The proposal can be defined as a "store", being "land used to store goods, machinery, or vehicles". The store is not proposed to be used as a separate residence.

Restrictive Covenant or Section 173 Agreement:

The subject site is not burdened by a Restrictive Covenant or Section 173 Agreement.

Cultural Heritage Management Plan (CHMP):

The construction of a store on this site is exempt from requiring a CHMP pursuant the Aboriginal Heritage Regulations 2007, as the Aboriginal Cultural Heritage Overlay does not affect this land.

Subject site & locality:

The subject site is known as 2 Faith Street Dimboola, and is currently vacant. The surrounding properties are primarily agricultural in nature, with the majority of dwellings within this area being single storey, brick veneer or weatherboard, and contemporary in design. The Wimmera River adjoins the site to the immediate south. The site is located approximately 1.3 kilometres north west of the Dimboola Post Office.

The proposal does not impact on any existing native vegetation and no native vegetation is proposed to be removed.

Public Notification

Section 52 of the Planning and Environment Act 1987 prescribes the requirements relating to giving notice as such:

s52 Notice of application

(1) Unless the responsible authority requires the applicant to give notice, the responsible authority must give notice of an application in a prescribed form—

- (a) *to the owners (except persons entitled to be registered under the **Transfer of Land Act 1958** as proprietor of an estate in fee simple) and occupiers of allotments or lots adjoining the land to which the application applies unless the responsible authority is satisfied that the grant of the permit would not cause material detriment to any person.*

The application is not exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act, however, it was not notified as it is considered that the proposed store will not detrimentally impact upon the area by way of additional noise caused by the proposal, or intensification of use from agriculture within the area.

Referrals

External Referrals/Notices Required by the Planning Scheme:

Section 55 Referrals: Not required.

Section 52 Notices: Not required.

Internal Referrals:

- Engineering: Not required.
- Environmental Health: Not required.
- Building: A Building Permit is required, due to structural work proposed. Tourism & Economic Development: Not required.

Planning Assessment:

Planning Scheme Requirements:

Planning Policy Framework

Clause 11 - Settlement

Clause 11.01-1R Settlement - Wimmera Southern Mallee

Clause 11.01- Victoria

Clause 11.03-6S - Regional and local places

Clause 13.07 – Amenity

Clause 14.01 - Agriculture

Clause 15.01 - Built Environment

Clause 15.02 - Sustainable Development

Clause 17 - Economic Development

Clause 17.01-1R - Diversified economy - Wimmera Southern Mallee

Local Planning Policy Framework

Clause 21 - Municipal Strategic Statement

Zoning Provisions

Clause 35.07 - Farming Zone (FZ)

Overlay Provisions

Clause 42.01 - Environmental Significance Overlay Schedule 3 (ESO3) – Wimmera River Protection;

Clause 42.01 - Environmental Significance Overlay Schedule 6 (ESO6) – Catchments of Wetlands of Conservation Value;

Clause 44.03 - Floodway Overlay (FO); and

Clause 44.04 - Land Subject to Inundation Overlay (LSIO).

Particular Provisions:

None Applicable.

General Provisions

Clause 65 – Decision Guidelines, states that:-

“Because a permit can be granted does not imply that a permit should or will be granted. The responsible authority must decide whether the proposal will produce acceptable outcomes in terms of the decision guidelines of this clause”.

The decision guidelines relevant to this application are stated within Clause 65.01 of the Hindmarsh Planning Scheme – Approval of an application or plan.

Before deciding on an application or approval of a plan, the responsible authority must consider, as appropriate:

- The matters set out in Section 60 of the Act.
- The State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.
- The purpose of the zone, overlay or other provision.
- Any matter required to be considered in the zone, overlay or other provision.
- The orderly planning of the area.
- The effect on the amenity of the area.
- The proximity of the land to any public land.
- Factors likely to cause or contribute to land degradation, salinity or reduce water quality.
- Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.
- The extent and character of native vegetation and the likelihood of its destruction.
- Whether native vegetation is to be or can be protected, planted or allowed to regenerate.
- The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.
- The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.

It is considered that the application complies with the relevant decision guidelines as outlined.

Discussion:

The application has been assessed against the Planning Policy Framework and the Local Planning Policy Framework, and it is considered that the proposed use is consistent with relevant policies contained within this section of the Hindmarsh Planning Scheme. It is considered that the proposed store accords with the requirements of the Farming Zone, and will facilitate more appropriate land management.

Strategic, Statutory and Procedural Requirements:

The proposal is consistent with the Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.

Report to Council:

The Coordinator Planning and Development advises that all obligations of Council (strategic, statutory and procedural) have been addressed and discharged in this planning application.

Processing Times:

The application was received on 20 September 2018. The report is being presented to Council for approval at its meeting on 05 December 2018 (77 days). The statutory processing time requirements of the Planning and Environment Act 1987 have not been satisfied in this instance.

Conflict of Interest:

Under section 80c of the Local Government Act 1989 officers providing advice to Council must disclose any interests, including the type of interest.

Officer Responsible – Shane Power, Director Infrastructure Services

In providing this advice as the Officer Responsible, I have no disclosable interests in this report.

Author – Andre Dalton, Coordinator Planning and Development

In providing this advice as the Author, I have no disclosable interests in this report.

RECOMMENDATION:

That Council approves an application for the construction of a store on Lot 1 TP249484 – 2 Faith St Dimboola subject to the following conditions:

General

- (1) The development as shown on the endorsed plans must not be altered without the written consent of the Responsible Authority.***

Amenity

- (2) ***The use and development must be managed so that the amenity of the area is not detrimentally affected, through the:***
- (a) ***Transport of materials, goods or commodities to or from the land;***
 - (b) ***Appearance of any building, works or materials;***
 - (c) ***Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil;***
 - (d) ***Presence of vermin; or***
 - (e) ***In any other way.***
- (3) ***The site must be kept in an ordered and tidy state and its appearance must not prejudicially affect the amenity of the area.***
- (4) ***Goods, equipment or machinery must not be stored or left exposed in a position that can be seen from the street.***

Time Limit

- (5) ***The development approved by this permit will expire if one of the following circumstances applies:***
- (a) ***The development is not started within two years of the date of this permit.***
 - (b) ***The development is not completed within four years of the date of this permit.***

The Responsible Authority may extend the periods referred to if a request is made in writing before the permit expires, or:

- (a) ***Within six months afterwards for commencement, or***
- (b) ***Within twelve months afterwards for completion.***

Notes:

- (1) ***This permit is not a Building Permit. Please consult a Building Surveyor and ensure a Building Permit is obtained.***
- (2) ***A copy of this permit and endorsed plans must be provided to all builders and contractors who are to work on site so they are aware of the conditions to which this approval is subject.***
- (3) ***Approval must be obtained from Council's Engineering Department (Phone: 03 5391 4444) for the construction or alteration of any vehicle crossings prior to the commencement of any works on the site.***

- (4) The use of the land for any purpose not specified in this permit may require the further consent of the Responsible Authority.**

MOVED: Crs T Schneider/D Nelson

That Council approves an application for the construction of a store on Lot 1 TP249484 – 2 Faith St Dimboola subject to the following conditions:

General

- (1) The development as shown on the endorsed plans must not be altered without the written consent of the Responsible Authority.**

Amenity

- (2) The use and development must be managed so that the amenity of the area is not detrimentally affected, through the:**

- (a) Transport of materials, goods or commodities to or from the land;**
- (b) Appearance of any building, works or materials;**
- (c) Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil;**
- (d) Presence of vermin; or**
- (e) In any other way.**

- (3) The site must be kept in an ordered and tidy state and its appearance must not prejudicially affect the amenity of the area.**

- (4) Goods, equipment or machinery must not be stored or left exposed in a position that can be seen from the street.**

Time Limit

- (5) The development approved by this permit will expire if one of the following circumstances applies:**

- (a) The development is not started within two years of the date of this permit.**
- (b) The development is not completed within four years of the date of this permit.**

The Responsible Authority may extend the periods referred to if a request is made in writing before the permit expires, or:

- (a) Within six months afterwards for commencement, or**
- (b) Within twelve months afterwards for completion.**

Notes:

- (1) This permit is not a Building Permit. Please consult a Building Surveyor and ensure a Building Permit is obtained.***
- (2) A copy of this permit and endorsed plans must be provided to all builders and contractors who are to work on site so they are aware of the conditions to which this approval is subject.***
- (3) Approval must be obtained from Council's Engineering Department (Phone: 03 5391 4444) for the construction or alteration of any vehicle crossings prior to the commencement of any works on the site.***
- (4) The use of the land for any purpose not specified in this permit may require the further consent of the Responsible Authority.***

CARRIED

Attachment: 3

9.2 APPLICATION FOR PLANNING PERMIT 1601-2018 –CONSTRUCTION OF A CARPORT – CA5B PSH JEPARIT (31A LAKE RD JEPARIT)

Responsible Officer:	Director Infrastructure Services
File:	Planning – Applications
Assessment:	73650
Applicant:	Richard Cornwall – TNT Steel Buildings Pty Ltd
Owner:	Department of Environment, Land, Water & Planning
Subject Land:	CA5B Psh Jeparit (31a Lake Rd Jeparit)
Proposal:	Construction of a carport
Zoning & Overlays:	Farming Zone (FZ); Environmental Significance Overlay Schedule 3 (ESO3) – Wimmera River Protection Environmental Significance Overlay Schedule 6 (ESO6) Catchments of Wetlands of Conservation Value Floodway Overlay (FO); Land Subject to Inundation Overlay (LSIO)
Attachments:	Attachment 4 – Site plans and elevations Attachment 5 – WCMA Flood Map

Summary:

This report recommends that Council approves planning permit application 1601-2018 to construct a carport adjacent to the existing Golf Clubhouse at CA5B Psh Jeparit (31a Lake Road Jeparit).

Background:

On 21 September 2018, a planning permit application to construct a carport adjacent to the existing Golf Clubhouse at CA5B Psh Jeparit (31a Lake Rd Jeparit) was lodged for assessment on road reserve next to the Jeparit Golf Club.

Proposal Details:

The proposal seeks a permit for buildings and works to construct a carport adjacent to the existing clubhouse on Council road reserve (Lake Road). The carport is 5.8 metres in length, 3.3 metres in width, and 3.3 metres in height. The carport is located approximately 440 metres to the west of the nearest dwelling.

Requirement for Permit:

A planning permit is triggered for this application pursuant to the following clauses of the Hindmarsh Planning Scheme:

- Clause 35.07-4 Buildings and Works (in the Farming Zone), which states “a permit is required to construct or carry out any of the following: a building or works associated with a use in Section 2 of Clause 35.07-1”.

The use of the land is defined as “Golf Course”, which is a Section 2 Use within the zone,

therefore a planning permit is required.

- Clause 44.04-2 Land Subject to Inundation Overlay (LSIO) requires a permit for Buildings and Works. The proposed carport is located on the periphery of the LSIO.

The proposed carport is located within the Environmental Significance Overlay Schedule 6 (ESO6) – Catchments of Wetlands of Conservation Value; however the requirement for a planning permit is not triggered under the provisions of the ESO6.

Definitions

Clause 73.03 of the Planning Scheme defines land uses. The proposal can be defined as a “Golf Course”, included within the definition of “Outdoor Recreation Facility”, being “land used for outdoor leisure, recreation, or sport”.

Restrictive Covenant or Section 173 Agreement:

The subject site is not burdened by a Restrictive Covenant or Section 173 Agreement.

Cultural Heritage Management Plan (CHMP):

The construction of a carport on this site is exempt from requiring a CHMP pursuant to the Aboriginal Heritage Regulations 2007, as the Aboriginal Cultural Heritage Overlay does not affect this land.

Subject site & locality:

The subject site is known as 31a Lake Road, Jeparit (Council Road Reserve) and is currently occupied by the golf course clubhouse. The golf course is adjacent to the clubhouse and road reserve to the immediate west. The surrounding properties are primarily agricultural in nature, with the Wimmera River adjoining the subject land to the south and west. The site is located approximately 1.55 kilometres west of the Jeparit Post Office.

The proposal does not impact on any existing native vegetation and no native vegetation is proposed to be removed.

Public Notification

Section 52 of the Planning and Environment Act 1987 prescribes the requirements relating to giving notice as such:

s52 Notice of application

- (2) *Unless the responsible authority requires the applicant to give notice, the responsible authority must give notice of an application in a prescribed form—*
- (b) *to the owners (except persons entitled to be registered under the **Transfer of Land Act 1958** as proprietor of an estate in fee simple) and occupiers of allotments or lots adjoining the land to which the application applies unless the responsible authority is satisfied that the grant of the permit would not cause material detriment to any person.*

The application is not exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act, however, it was not notified as it is considered that the proposed carport will not detrimentally impact upon the area due to the small scale and nature of the proposal.

Referrals

External Referrals/Notices Required by the Planning Scheme:

Section 55 Referrals: Wimmera Catchment Management Authority (WCMA) – responded with no objection, and 1 x condition requiring that “The carport must be sited outside of flooded land, Refer to Figure 1”. A note stating that “The 1% AEP flood is not the maximum possible flood. There is always a possibility that a flood larger in height and extent, than the 1% AEP flood, may occur in the future”. (Refer Attachment 2).

Section 52 Notices: Not required.

Internal Referrals:

- Engineering: Not required.
- Environmental Health: Not required.
- Building: A Building Permit is required, due to structural work proposed.
- Tourism & Economic Development: Not required.

Planning Assessment:

Planning Scheme Requirements:

Planning Policy Framework

Clause 11 - Settlement

Clause 11.01-1R Settlement - Wimmera Southern Mallee

Clause 11.01- Victoria

Clause 11.03-6S - Regional and local places

Clause 13.07 – Amenity

Clause 15.01- Built Environment

Clause 15.02 - Sustainable Development

Clause 17 - Economic Development

Clause 17.01-1R - Diversified economy - Wimmera Southern Mallee

Clause 19.02-4R - Social and cultural infrastructure – Wimmera Southern Mallee

Local Planning Policy Framework

Clause 21 - Municipal Strategic Statement

Zoning Provisions

Clause 35.07 - Farming Zone (FZ)

Overlay Provisions

Clause 42.01 - Environmental Significance Overlay Schedule 3 (ESO3) – Wimmera River Protection;

Clause 42.01 - Environmental Significance Overlay Schedule 6 (ESO6) – Catchments of Wetlands of Conservation Value;

Clause 44.03 - Floodway Overlay (FO); and

Clause 44.04 - Land Subject to Inundation Overlay (LSIO).

Particular Provisions:

None Applicable.

General Provisions

Clause 65 – Decision Guidelines, states that:-

“Because a permit can be granted does not imply that a permit should or will be granted. The responsible authority must decide whether the proposal will produce acceptable outcomes in terms of the decision guidelines of this clause”.

The decision guidelines relevant to this application are stated within Clause 65.01 of the Hindmarsh Planning Scheme – Approval of an application or plan.

Before deciding on an application or approval of a plan, the responsible authority must consider, as appropriate:

- The matters set out in Section 60 of the Act.
- The State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.
- The purpose of the zone, overlay or other provision.
- Any matter required to be considered in the zone, overlay or other provision.
- The orderly planning of the area.
- The effect on the amenity of the area.
- The proximity of the land to any public land.
- Factors likely to cause or contribute to land degradation, salinity or reduce water quality.
- Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.
- The extent and character of native vegetation and the likelihood of its destruction.
- Whether native vegetation is to be or can be protected, planted or allowed to regenerate.
- The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.
- The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.

It is considered that the application complies with the relevant decision guidelines as outlined.

Discussion:

The application has been assessed against the Planning Policy Framework and the Local Planning Policy Framework, and it is considered that the proposed use is consistent with relevant policies contained within this section of the Hindmarsh Planning Scheme. It is considered that the proposed carport accords with the requirements of the Farming Zone and Overlays, as well as improving the utility of the golf course clubhouse.

Strategic, Statutory and Procedural Requirements:

The proposal is consistent with the Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.

Report to Council:

The Coordinator Planning and Development advises that all obligations of Council (strategic, statutory and procedural) have been addressed and discharged in this planning application.

Processing Times:

The application was received on 21 September 2018. The report is being presented to Council for approval at its meeting on 05 December 2018 (76 days). The statutory processing time requirements of the Planning and Environment Act 1987 have not been satisfied in this instance.

Conflict of Interest:

Under section 80c of the Local Government Act 1989 officers providing advice to Council must disclose any interests, including the type of interest.

Officer Responsible – Shane Power, Director Infrastructure Services

In providing this advice as the Officer Responsible, I have no disclosable interests in this report.

Author – Andre Dalton, Coordinator Planning and Development

In providing this advice as the Author, I have no disclosable interests in this report.

RECOMMENDATION:

That Council approves an application for the construction of a carport on CA5B Psh Jeparit (31a Lake Rd Jeparit), subject to the following conditions:

General

- (1) The development as shown on the endorsed plans must not be altered without the written consent of the Responsible Authority.***

Amenity

- (2) ***The use and development must be managed so that the amenity of the area is not detrimentally affected, through the:***
- (a) ***Transport of materials, goods or commodities to or from the land;***
 - (b) ***Appearance of any building, works or materials;***
 - (c) ***Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil;***
 - (d) ***Presence of vermin; or***
 - (e) ***In any other way.***
- (3) ***The site must be kept in an ordered and tidy state and its appearance must not prejudicially affect the amenity of the area.***
- (4) ***Goods, equipment or machinery must not be stored or left exposed in a position that can be seen from the street.***

Wimmera Catchment Management Authority

- (6) ***The carport must be sited outside of flooded land, Refer to Figure 1.***

Time Limit

- (7) ***The development approved by this permit will expire if one of the following circumstances applies:***
- (a) ***The development is not started within two years of the date of this permit.***
 - (b) ***The development is not completed within four years of the date of this permit.***

The Responsible Authority may extend the periods referred to if a request is made in writing before the permit expires, or:

- (a) ***Within six months afterwards for commencement, or***
- (b) ***Within twelve months afterwards for completion.***

Notes:

- (1) ***This permit is not a Building Permit. Please consult a Building Surveyor and ensure a Building Permit is obtained.***
- (2) ***A copy of this permit and endorsed plans must be provided to all builders and contractors who are to work on site so they are aware of the conditions to which this approval is subject.***
- (3) ***Approval must be obtained from Council's Engineering Department (Phone: 03***

5391 4444) for the construction or alteration of any vehicle crossings prior to the commencement of any works on the site.

- (4) The use of the land for any purpose not specified in this permit may require the further consent of the Responsible Authority.**
- (5) The 1% AEP flood is not the maximum possible flood. There is always a possibility that a flood larger in height and extent, than the 1% AEP flood, may occur in the future.**

MOVED: Crs R Lowe/T Schneider

That Council approves an application for the construction of a carport on CA5B Psh Jeparit (31a Lake Rd Jeparit), subject to the following conditions:

General

- (1) The development as shown on the endorsed plans must not be altered without the written consent of the Responsible Authority.**

Amenity

- (2) The use and development must be managed so that the amenity of the area is not detrimentally affected, through the:**
 - (a) Transport of materials, goods or commodities to or from the land;**
 - (b) Appearance of any building, works or materials;**
 - (c) Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil;**
 - (d) Presence of vermin; or**
 - (e) In any other way.**
- (3) The site must be kept in an ordered and tidy state and its appearance must not prejudicially affect the amenity of the area.**
- (4) Goods, equipment or machinery must not be stored or left exposed in a position that can be seen from the street.**

Wimmera Catchment Management Authority

- (6) The carport must be sited outside of flooded land, Refer to Figure 1.**

Time Limit

- (7) The development approved by this permit will expire if one of the following circumstances applies:**
 - (a) The development is not started within two years of the date of this permit.**

- (b) The development is not completed within four years of the date of this permit.**

The Responsible Authority may extend the periods referred to if a request is made in writing before the permit expires, or:

- (a) Within six months afterwards for commencement, or
(b) Within twelve months afterwards for completion.**

Notes:

- (1) This permit is not a Building Permit. Please consult a Building Surveyor and ensure a Building Permit is obtained.**
- (2) A copy of this permit and endorsed plans must be provided to all builders and contractors who are to work on site so they are aware of the conditions to which this approval is subject.**
- (3) Approval must be obtained from Council's Engineering Department (Phone: 03 5391 4444) for the construction or alteration of any vehicle crossings prior to the commencement of any works on the site.**
- (4) The use of the land for any purpose not specified in this permit may require the further consent of the Responsible Authority.**
- (5) The 1% AEP flood is not the maximum possible flood. There is always a possibility that a flood larger in height and extent, than the 1% AEP flood, may occur in the future.**

Attachments: 4 & 5

10. REPORTS REQUIRING A DECISION

10.1 REVIEW OF SECTION 86 SPECIAL COMMITTEES

Responsible Officer: Director Corporate & Community Services
Attachment Number: 6

Introduction:

The *Local Government Act 1989 (Act)* requires Council, within 12 months of a general election, to review all delegations to special committees (section 86) and review all exemptions provided to special committee members, who are not councillors, from the requirement to submit a primary return or ordinary return (section 81(2B)). As a matter of best practice, officers made the decision to review all section 86 committees on an annual basis.

Discussion:

An annual review of section 86 special committees provides an opportunity for Council to consider what decisions may be made in its name and who may make them, and to assess the ongoing need for current special committees. An annual review is also an opportunity for Council to ensure the Instruments of Delegation to special committees remains current and reflects best-practice drafting style.

The review considered whether all committees continued to serve a necessary purpose, the appropriateness of the powers, functions and duties delegated, and the drafting style of the current Instruments of Delegation.

Ongoing need for current Special Committees

In considering whether all committees continued to perform a necessary purpose, the review evaluated the level of activity of each committee and the value of the activities they undertake on behalf of Council.

Council's fifteen special committees deemed to still perform a necessary purpose are as follows —

- Nhill Town Committee
- Dimboola Town Committee
- Jeparit Town Committee
- Rainbow Town Committee
- Wimmera Mallee Pioneer Museum Committee
- Yurunga Homestead Committee
- Antwerp Hall Committee
- Diapur Hall Committee
- Gerang Hall Committee
- Jeparit Memorial Hall Committee
- Lorquon Memorial Hall Committee

- Yanac Hall and Recreation Reserve Committee
- Rainbow Civic Centre Committee
- Rainbow Recreation Reserve Committee
- Nhill Sun Moth Reserve Committee of Management

Instruments of Delegation

Section 86(3) of the Act provides that delegations to a special committee are to be via an Instrument of Delegation. An Instrument of Delegation is a written instrument that formally delegates powers, duties and functions to a special committee and may include limitations and conditions on the exercise of the delegated powers, duties and functions.

It is recommended Council maintains the current Instrument of Delegation for the fifteen special committees as passed by resolution of Council on 25 October 2017. The Instruments of Delegation are Attachment 6.

Exemptions from providing returns of interest

Section 81(2B) of the Act requires Council to review all exemptions provided to a special committee member, who is not a Councillor, from the requirement to submit a primary return or ordinary return. All members of special committees must submit returns of interest unless exempted by Council. Council can exempt members who are not councillors from the requirement. As part of the review of the special committees under Instrument of Delegation, it is recommended Council continue to provide an exemption to all members of special committees, who are not councillors, from the requirement to submit returns of interest.

Options:

- Council can choose to maintain the current section 86 special committees under Instrument of Delegation
- Council can choose to revoke some of the current section 86 special committees
- Council can provide or not provide an exemption to members of each special committee, who are not councillors, from the requirement to submit a primary return or ordinary return

Link to Council Plan:

4.6 An organisation that takes its risk management responsibilities seriously

Financial Implications:

No financial implications arise.

Risk Management Implications:

No risk management implications arise.

Conflict of Interest:

Under section 80C of the *Local Government Act 1989* officers providing advice to Council

must disclose any interests, including the type of interest.

Officer Responsible— Monica Revell, Director Corporate & Community Services

In providing this advice as the Officer Responsible, I have no disclosable interests in this report.

Author—Helen Thomson, HR Governance and Compliance Coordinator

In providing this advice as the Author, I have no disclosable interests in this report.

Communications Strategy:

N/A.

RECOMMENDATION:

- 1) ***In exercise of the powers conferred by sections 86 of the Local Government Act 1989, Council resolves***
 - a. ***that the current Instrument of Delegation adopted by resolution of Council on 25 October 2017 be maintained for the following committees:***
 1. ***Nhill Town Committee***
 2. ***Dimboola Town Committee***
 3. ***Jeparit Town Committee***
 4. ***Rainbow Town Committee***
 5. ***Wimmera Mallee Pioneer Museum Committee***
 6. ***Yurunga Homestead Committee***
 7. ***Antwerp Hall Committee***
 8. ***Diapur Hall Committee***
 9. ***Gerang Hall Committee***
 10. ***Jeparit Memorial Hall Committee***
 11. ***Lorquon Memorial Hall Committee***
 12. ***Yanac Hall and Recreation Reserve Committee***
 13. ***Rainbow Civic Centre Committee***
 14. ***Rainbow Recreation Reserve Committee***
 15. ***Nhill Sun Moth Reserve Committee of Management***
 - b. ***that the committees must report to Council annually.***
- 2) ***Pursuant to section 81(2A) of the Act, exempts the members of the above Committees who are not Councillors, from being required to submit a primary return or ordinary return.***

MOVED: Crs R Gersch/T Schneider

- 1) ***In exercise of the powers conferred by sections 86 of the Local Government Act 1989, Council resolves***
 - a. ***that the current Instrument of Delegation adopted by resolution of Council on 25 October 2017 be maintained for the following committees:***

1. ***Nhill Town Committee***
2. ***Dimboola Town Committee***
3. ***Jeparit Town Committee***
4. ***Rainbow Town Committee***
5. ***Wimmera Mallee Pioneer Museum Committee***
6. ***Yurunga Homestead Committee***
7. ***Antwerp Hall Committee***
8. ***Diapur Hall Committee***
9. ***Gerang Hall Committee***
10. ***Jeparit Memorial Hall Committee***
11. ***Lorquon Memorial Hall Committee***
12. ***Yanac Hall and Recreation Reserve Committee***
13. ***Rainbow Civic Centre Committee***
14. ***Rainbow Recreation Reserve Committee***
15. ***Nhill Sun Moth Reserve Committee of Management***

b. ***that the committees must report to Council annually.***

- 2) ***Pursuant to section 81(2A) of the Act, exempts the members of the above Committees who are not Councillors, from being required to submit a primary return or ordinary return.***

CARRIED

Attachment: 6

10.2 FUTURE MEETING DATES

Responsible Officer: Chief Executive Officer

Introduction:

This report seeks approval from Council for the 2019 meeting dates and their advertisement in the local media.

Discussion:

Each year Council advertises the meeting dates for the upcoming 12 months in the local newspapers. The advertised dates are for the Council meetings and the Annual Statutory Meeting.

It is proposed that Council continues to hold two ordinary Council meetings each month, commencing at 3:00pm, with the exception of some months only having one meeting, to facilitate participation in other forums.

It is proposed that one Council meeting be held each in Dimboola, Jeparit and Rainbow. This would allow school groups and local organisations the opportunity to provide deputations to Council. Locations are suggested in the recommendation below, based on school holiday timing and seasonal comfort in each of the facilities.

It is proposed that in keeping with practice of other councils around the state, Council does not meet in January.

It is the officers' recommendation to hold Briefing meetings prior to the ordinary Council meetings, commencing at 1:00pm.

The proposed dates below have also taken into consideration external organisations conferences and forums such as Municipal Association of Victoria conferences, Rural Council Victoria conferences, and LGPro conferences, to avoid clashes where possible.

Options:

Council may choose to adopt the recommended timing and location for Ordinary Council Meetings and Council Briefings or select alternative dates, times or locations to hold its meetings.

Communications Strategy:

The advertisement for the meeting dates will appear in the Dimboola Banner, Dimboola Courier, Nhill Free Press, and the Rainbow Jeparit Argus. The meeting dates will also be listed on Council's website.

RECOMMENDATION:

That Council sets the following times, dates and locations for Council Meetings in 2019:

WEDNESDAY	TIME	LOCATION
6 February 2019	3:00pm	Council Chambers, 92 Nelson St, Nhill
20 February 2019	3:00pm	Memorial Hall, Roy St, Jeparit
6 March 2019	3:00pm	Council Chambers, 92 Nelson St, Nhill
20 March 2019	3:00pm	DMSC Health and Fitness Centre, Dimboola
10 April 2019	3:00pm	Council Chambers, 92 Nelson St, Nhill
1 May 2019	3:00pm	Council Chambers, 92 Nelson St, Nhill
22 May 2019	3:00pm	Council Chambers, 92 Nelson St, Nhill
5 June 2019	3:00pm	Council Chambers, 92 Nelson St, Nhill
19 June 2019	3:00pm	Council Chambers, 92 Nelson St, Nhill
10 July 2019	3:00pm	Council Chambers, 92 Nelson St, Nhill
24 July 2019	3:00pm	Council Chambers, 92 Nelson St, Nhill
7 August 2019	3:00pm	Council Chambers, 92 Nelson St, Nhill
21 August 2019	3:00pm	Supper Room, MECCA, Federal St, Rainbow
4 September 2019	3:00pm	Council Chambers, 92 Nelson St, Nhill
18 September 2019	3:00pm	Council Chambers, 92 Nelson St, Nhill
2 October 2019	3:00pm	Council Chambers, 92 Nelson St, Nhill
23 October 2019	3:00pm	Council Chambers, 92 Nelson St, Nhill
6 November 2019	6:00pm	Nhill Memorial Community Centre, Nelson Street, Nhill
20 November 2019	3:00pm	Council Chambers, 92 Nelson St, Nhill
18 December 2019	3:00pm	Council Chambers, 92 Nelson St, Nhill

MOVED: Crs R Gersch/R Lowe

That Council sets the following times, dates and locations for Council Meetings in 2019:

WEDNESDAY	TIME	LOCATION
6 February 2019	3:00pm	Council Chambers, 92 Nelson St, Nhill
20 February 2019	3:00pm	Memorial Hall, Roy St, Jeparit
6 March 2019	3:00pm	Council Chambers, 92 Nelson St, Nhill
20 March 2019	3:00pm	DMSC Health and Fitness Centre, Dimboola
10 April 2019	3:00pm	Council Chambers, 92 Nelson St, Nhill
1 May 2019	3:00pm	Council Chambers, 92 Nelson St, Nhill
22 May 2019	3:00pm	Council Chambers, 92 Nelson St, Nhill
5 June 2019	3:00pm	Council Chambers, 92 Nelson St, Nhill
19 June 2019	3:00pm	Council Chambers, 92 Nelson St, Nhill

WEDNESDAY	TIME	LOCATION
<i>10 July 2019</i>	<i>3:00pm</i>	<i>Council Chambers, 92 Nelson St, Nhill</i>
<i>24 July 2019</i>	<i>3:00pm</i>	<i>Council Chambers, 92 Nelson St, Nhill</i>
<i>7 August 2019</i>	<i>3:00pm</i>	<i>Council Chambers, 92 Nelson St, Nhill</i>
<i>21 August 2019</i>	<i>3:00pm</i>	<i>Supper Room, MECCA, Federal St, Rainbow</i>
<i>4 September 2019</i>	<i>3:00pm</i>	<i>Council Chambers, 92 Nelson St, Nhill</i>
<i>18 September 2019</i>	<i>3:00pm</i>	<i>Council Chambers, 92 Nelson St, Nhill</i>
<i>2 October 2019</i>	<i>3:00pm</i>	<i>Council Chambers, 92 Nelson St, Nhill</i>
<i>23 October 2019</i>	<i>3:00pm</i>	<i>Council Chambers, 92 Nelson St, Nhill</i>
<i>6 November 2019</i>	<i>6:00pm</i>	<i>Nhill Memorial Community Centre, Nelson Street, Nhill</i>
<i>20 November 2019</i>	<i>3:00pm</i>	<i>Council Chambers, 92 Nelson St, Nhill</i>
<i>18 December 2019</i>	<i>3:00pm</i>	<i>Council Chambers, 92 Nelson St, Nhill</i>

AMENDMENT: Crs T Schneider/D Nelson

That Council sets the following times, dates and locations for Council Meetings in 2019:

WEDNESDAY	TIME	LOCATION
<i>6 February 2019</i>	<i>3:00pm</i>	<i>Council Chambers, 92 Nelson St, Nhill</i>
<i>20 February 2019</i>	<i>3:00pm</i>	<i>Memorial Hall, Roy St, Jeparit</i>
<i>6 March 2019</i>	<i>3:00pm</i>	<i>Council Chambers, 92 Nelson St, Nhill</i>
<i>20 March 2019</i>	<i>3:00pm</i>	<i>DMSC Health and Fitness Centre, Dimboola</i>
<i>10 April 2019</i>	<i>3:00pm</i>	<i>Council Chambers, 92 Nelson St, Nhill</i>
<i>1 May 2019</i>	<i>3:00pm</i>	<i>Council Chambers, 92 Nelson St, Nhill</i>
<i>22 May 2019</i>	<i>3:00pm</i>	<i>Council Chambers, 92 Nelson St, Nhill</i>
<i>5 June 2019</i>	<i>3:00pm</i>	<i>Council Chambers, 92 Nelson St, Nhill</i>
<i>19 June 2019</i>	<i>3:00pm</i>	<i>Council Chambers, 92 Nelson St, Nhill</i>
<i>10 July 2019</i>	<i>3:00pm</i>	<i>Council Chambers, 92 Nelson St, Nhill</i>
<i>24 July 2019</i>	<i>3:00pm</i>	<i>Council Chambers, 92 Nelson St, Nhill</i>
<i>7 August 2019</i>	<i>3:00pm</i>	<i>Council Chambers, 92 Nelson St, Nhill</i>
<i>21 August 2019</i>	<i>3:00pm</i>	<i>Supper Room, MECCA, Federal St, Rainbow</i>
<i>4 September 2019</i>	<i>3:00pm</i>	<i>Council Chambers, 92 Nelson St, Nhill</i>
<i>18 September 2019</i>	<i>3:00pm</i>	<i>Council Chambers, 92 Nelson St, Nhill</i>
<i>2 October 2019</i>	<i>3:00pm</i>	<i>Council Chambers, 92 Nelson St, Nhill</i>
<i>23 October 2019</i>	<i>3:00pm</i>	<i>Dimboola Community Centre, Wimmera St, Dimboola</i>
<i>6 November 2019</i>	<i>6:00pm</i>	<i>Nhill Memorial Community Centre, Nelson Street, Nhill</i>
<i>20 November 2019</i>	<i>3:00pm</i>	<i>Council Chambers, 92 Nelson St, Nhill</i>

WEDNESDAY	TIME	LOCATION
18 December 2019	3:00pm	Council Chambers, 92 Nelson St, Nhill

(Amendment has varied location of 23 October 2019 meeting)

AMENDED MOTION CARRIED

ORIGINAL MOTION AS AMMENDED CARRIED

10.3 NATIONAL TIDY TOWNS AWARDS

Responsible Officer: Director Corporate & Community Services

Introduction:

This report seeks approval to send a representative of Council to the Keep Australia Beautiful, Australian Tidy Town Sustainable Communities awards scheduled to be held in Smithton, Tasmania on Thursday 4 April and Friday 5 April 2019.

Discussion:

Dimboola was officially recognised as Victoria's tidiest town at the Keep Victoria Beautiful awards held on 13 October 2018 in Beechworth.

Dimboola now represents Victoria as a finalist at the 2019 Keep Australia Beautiful, Australian Tidy Town Sustainable Communities event. The event commences Thursday 4 April 2019 with a welcome function held in the evening, followed by tours during the day and the awards dinner on Friday 5 April 2019.

Smithton is located 2½ hours drive from Launceston airport. Estimated costs to attend the National Awards are as follows:

- Return flights, two days car hire and fuel - approximately \$500.
- Two nights' accommodation - approximately \$400.
- National Tidy Towns registration - approximately \$250.

The representative will join Keep Victoria Beautiful staff and represent Dimboola bringing back ideas to share with Dimboola Town Committee on future activities for the Tidy Towns awards.

Options:

1. Council can choose to send a representative of Council to the Keep Australia Beautiful, Australian Tidy Town Sustainable Communities event on 4 and 5 April 2019.
2. Council can choose not to send a representative to the Keep Australia Beautiful, Australian Tidy Town Sustainable Communities event on 4 and 5 April 2019.

Link to Council Plan:

3.1 A strong rural economy and thriving towns

Financial Implications:

Approximate costs to send a representative to the Keep Australia Beautiful, Australian Tidy Town Sustainable Communities event is \$1,150.

Risk Management Implications:

No risk management implications

Conflict of Interest:

Under section 80C of the LGA officers providing advice to Council must disclose any

interests, including the type of interest.

Author & Officer Responsible: Monica Revell, Director Corporate & Community Services
In providing this advice as the Author and Officer Responsible, I have no interests to disclose.

Communications Strategy:

Keep Victoria Beautiful will be notified of the Council nominated representative.

RECOMMENDATION:

That Council nominates XX as the representative for the 2019 Keep Australia Beautiful, Australian Tidy Town Sustainable Communities event on 4 and 5 April 2019 to be held in Smithton Tasmania.

MOVED: Crs T Schneider/R Lowe

That Council defers discussion of this item to the following meeting on 19 December 2018.

CARRIED

11. SPECIAL COMMITTEES

11.1 RAINBOW TOWN COMMITTEE

Responsible Officer: Director Corporate and Community Services
Attachment: 7

Introduction:

The Rainbow Town Committee held its general meeting on 22 October 2018. The purpose of this report is to note the minutes from this meeting. A copy of the minutes is included as an attachment for the information of Council.

RECOMMENDATION:

That Council notes the minutes of the Rainbow Town Committee general meeting held on 22 October 2018.

MOVED: Crs R Lowe/R Gersch

That Council notes the minutes of the Rainbow Town Committee general meeting held on 22 October 2018.

CARRIED

Attachment: 7

11.2 YURUNGA HOMESTEAD COMMITTEE

Responsible Officer: Director Corporate and Community Services
Attachment: 8

Introduction:

The Yurunga Homestead Committee held its general meeting on 18 October 2018. The purpose of this report is to note the minutes from this meeting and endorse the appointment of a secretary. A copy of the minutes is included as an attachment for the information of Council.

RECOMMENDATION:

That Council:

- ***notes the minutes of the Rainbow Town Committee general meeting held on 18 October 2018.***
 - ***endorses the appointment of Peter Solly to secretary***
-

MOVED: Crs T Schneider/R Lowe

That Council:

- ***notes the minutes of the Yurunga Homestead Committee general meeting held on 18 October 2018.***
- ***endorses the appointment of Peter Solly to secretary***

CARRIED

Attachment: 8

12. LATE REPORTS

No report

13. OTHER BUSINESS

No other business

14. CONFIDENTIAL REPORTS

In accordance with Section 89 (2) of the *Local Government Act* 1989, Council may close the meeting to the public if items to be discussed are deemed confidential, that is, if the items to be discussed relate to:

- a) Personnel matters;
- b) The personal hardship of any resident or ratepayer;
- c) Industrial matters;
- d) Contractual matters;
- e) Proposed developments;
- f) Legal advice;
- g) Matters affecting the security of Council property;
- h) Any other matter which the Council or Special Committee considers would prejudice the Council or any person;
- (i) a resolution to close the meeting to members of the public.

RECOMMENDATION:

That the meeting be closed in accordance with Section 89 of the Local Government Act 1989, to consider.

14.1 Sale of Properties for Unpaid Rates and Charges

MOVED: Crs R Gersch/D Nelson

That the meeting be closed in accordance with Section 89 of the Local Government Act 1989, to consider.

14.1 Sale of Properties for Unpaid Rates and Charges

CARRIED

Council moved into closed session at 3:19pm.

Council resumed in open session at 3:33pm.

15. MEETING CLOSE

There being no further business, Cr R Ismay declared the meeting closed at 3:34pm.



ASSEMBLY OF COUNCILLORS RECORD

Assembly of Councillors means a planned or scheduled meeting of at least 3 councillors and one member of council staff which considers matters that are intended or likely to be:

- a) the subject of a decision of the Council; or*
- b) subject to the exercise of a function, duty of power of the council that has been delegated to a person or committee; but does not include a meeting of the Council, a special committee of the Council, a club, association, peak body, political party or other organisation.*

Requirements to be observed by an assembly of Councillors (Section 80A Local Government Act, 1989)

Title of Meeting: Council Briefing Session

Date: Wednesday 5 December 2018 **Time:** 1:00pm – 3:00pm

Assembly Location: Council Chambers, 92 Nelson Street, Nhill

Present:

Crs. Ronald Ismay (Mayor), Debra Nelson, Ronald Lowe, Robert Gersch, Tony Schneider

Apologies:

Cr David Colbert

In Attendance:

Mr Greg Wood (Chief Executive Officer), Mr Shane Power (Director Infrastructure Services) (items 2-5), Mrs Monica Revell (Director Corporate and Community Services) (items 2-5), Ms Shelley Gersch (Executive Assistant) (items 2- 5), Mrs Sarah Dickinson (Administration Officer Infrastructure) (items 2-5), Mrs Janelle Reichelt (Manager Finance and Customer Service) (item 2), Mr Phil King (Manager Economic and Community Development (item 3), Mr Michael Kolapo (Project Engineer) (item 3)

Conflict of Interest Disclosures

1. Direct; or
2. Indirect interest
 - (a) by close association;
 - (b) that is an indirect financial interest;
 - (c) because of conflicting duties;
 - (d) because of receipt of an applicable gift;
 - (e) as a consequence of becoming an interested party; or
 - (f) because of an impact on residential amenity.

Declaration of direct or indirect interest must also be advised by Councillors at the commencement of discussion of the specific item.

Councillors:

Nil

Officers:

Nil

Matters Discussed:

No.	Detail	Presenter
1.	CEO Update	Greg Wood
2.	Budget Discussion 2019/20	Monica Revell
3.	Dimboola Library Update	Phil King
4.	Section 181 Sale of Properties for Unpaid Rates and Charges	Monica Revell
5.	Councillor Question Time	Greg Wood

Completed by: Greg Wood

Signed:

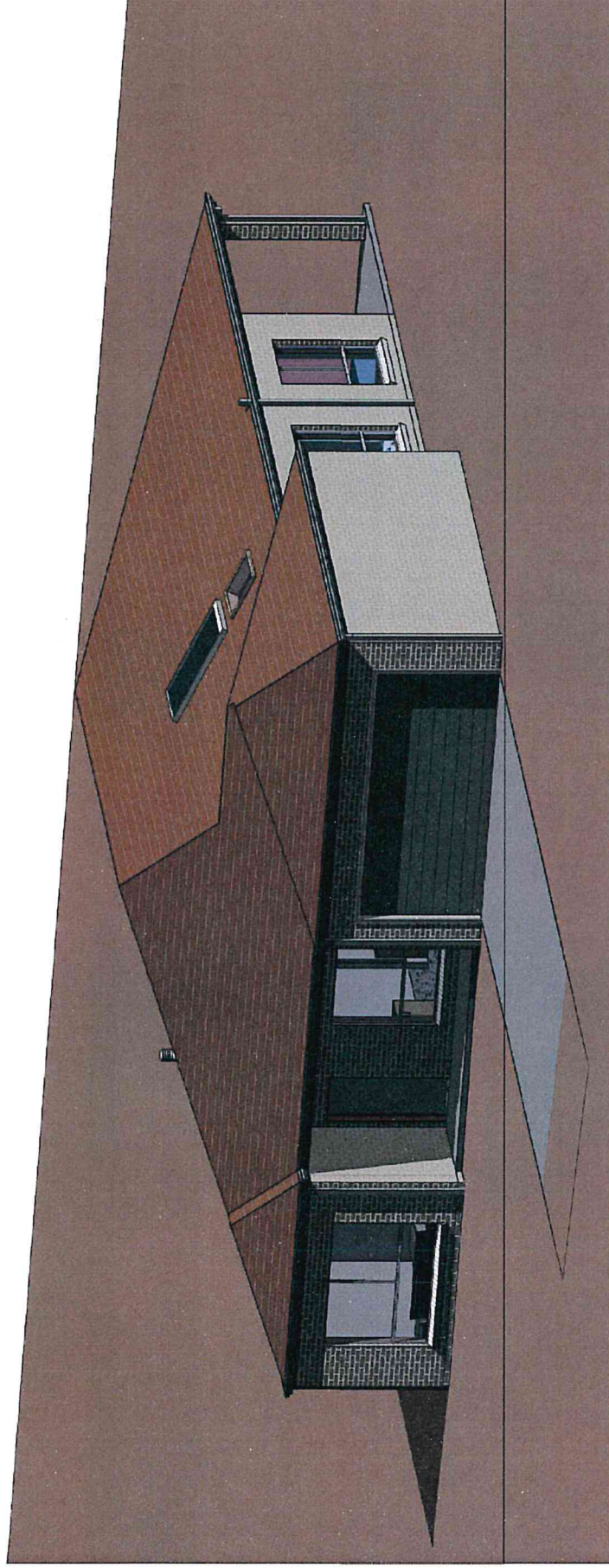


Date: 05/12/2018



Must be kept for four years from date of the assembly. Available for public inspection at Council Offices for 12 months after date of assembly.

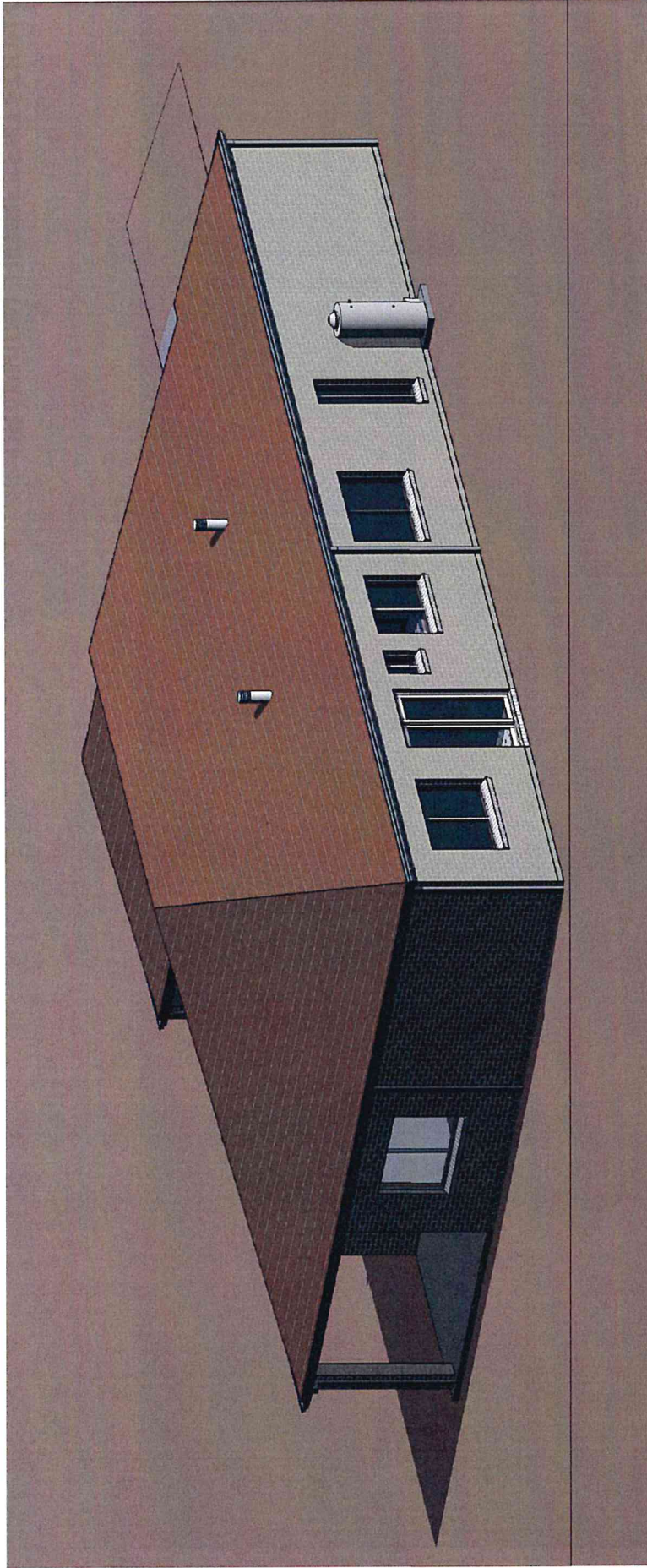
291 YANAC-NETHERBY ROAD

YANAC





GRAPHICAL REPRESENTATION ONLY

	SHEET CONTENT: COVER SHEET & INDEX HOUSE TYPE: One Storey Residence PROPERTY ADDRESS: 291 YANAC-NETHERBY ROAD YANAC CLIENT: MICHAEL & REBECCA DART		CLIENT I/WE CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR THE PURPOSES: SIGNED DATE SIGNED DATE		GENERAL NOTES: * THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS. * FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE * UNLESS OTHERWISE DIMENSIONED ALL STUD WALL ARE 100mm THICK AND ALL BRICK VENEER WALLS ARE 240mm THICK * DIMENSIONS TO STRUCTURAL MEMBERS & JOBS OF BRICKS INCLUDING BATHING, PLASTERBOARD ETC * REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.		 Level 2, 420 Collins Street, Melbourne, VIC 3000 Phone: 03 9427 2118 Email: info@draftee.com.au DP-AD-48334		REVISIONS																										
	NOTHING:		SCALE: DATE: 2018 DRAWN: MD CHECKED: BH		SHEET NUMBER: 1.1 JOB NUMBER: 18-0064 JOB ISSUE: F		<table border="1"> <thead> <tr> <th>ISSUE</th> <th>DATE</th> <th>REVISION DESCRIPTION</th> <th>INITIALS</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>23/04/18</td> <td>PRELIMINARY PLANS</td> <td>MD</td> </tr> <tr> <td>B</td> <td>27/04/18</td> <td>PRELIMINARY PLANS</td> <td>MD</td> </tr> <tr> <td>C</td> <td>16/07/18</td> <td>CONSTRUCTION PLANS</td> <td>MD</td> </tr> <tr> <td>D</td> <td>16/07/18</td> <td>CONSTRUCTION PLANS</td> <td>MD</td> </tr> <tr> <td>E</td> <td>16/07/18</td> <td>CONSTRUCTION PLANS</td> <td>MD</td> </tr> <tr> <td>F</td> <td>16/07/18</td> <td>CONSTRUCTION PLANS</td> <td>MD</td> </tr> </tbody> </table>		ISSUE	DATE	REVISION DESCRIPTION	INITIALS	A	23/04/18	PRELIMINARY PLANS	MD	B	27/04/18	PRELIMINARY PLANS	MD	C	16/07/18	CONSTRUCTION PLANS	MD	D	16/07/18	CONSTRUCTION PLANS	MD	E	16/07/18	CONSTRUCTION PLANS	MD	F	16/07/18	CONSTRUCTION PLANS
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GRAPHICAL REPRESENTATION ONLY

	SHEET CONTENT: REAR PERSPECTIVE HOUSE TYPE: One Storey Residence PROPERTY ADDRESS: 231 YANAC-NETHERBY ROAD YANAC CLIENT: MICHAEL & REBECCA DART	CLIENT I/WE: _____ SIGNATURE THESE DRAWINGS ASSIGNED WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES. SIGNED: _____ DATE: _____ SIGNED: _____ DATE: _____	GENERAL NOTES: * THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS. * DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. * UNLESS OTHERWISE DIMENSIONED ALL STUD WALLS ARE 100MM THICK AND ALL BRICK PIERCEMENTS WILL BE 200MM THICK. * DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD, ETC. * REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.	 Level 2, 400 Coffey Street, Melbourne, VIC 3000 Phone: 03 9467 2118 Email: info@draftee.com.au DP-AD 45314	REVISIONS <table border="1"> <thead> <tr> <th>ISSUE</th> <th>DATE</th> <th>REVISION DESCRIPTION</th> <th>INITIALS</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>22/04/18</td> <td>PRELIMINARY PLANS</td> <td>MD</td> </tr> <tr> <td>B</td> <td>27/04/18</td> <td>PRELIMINARY PLANS</td> <td>MD</td> </tr> <tr> <td>C</td> <td>10/05/18</td> <td>CONSTRUCTION PLANS</td> <td>MD</td> </tr> <tr> <td>D</td> <td>16/05/18</td> <td>CONSTRUCTION PLANS</td> <td>MD</td> </tr> <tr> <td>E</td> <td>03/06/18</td> <td>CONSTRUCTION PLANS</td> <td>MD</td> </tr> <tr> <td>F</td> <td>18/07/18</td> <td>CONSTRUCTION PLANS</td> <td>MD</td> </tr> </tbody> </table>	ISSUE	DATE	REVISION DESCRIPTION	INITIALS	A	22/04/18	PRELIMINARY PLANS	MD	B	27/04/18	PRELIMINARY PLANS	MD	C	10/05/18	CONSTRUCTION PLANS	MD	D	16/05/18	CONSTRUCTION PLANS	MD	E	03/06/18	CONSTRUCTION PLANS	MD	F	18/07/18	CONSTRUCTION PLANS	MD
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GENERAL NOTES.

DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY.

9. SHOCK ALARMS ARE TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH A.S. 3786-2011, AND UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1, 2 OR 3 BUILDING OR A CLASS 4 PART OF A BUILDING THE SHOCK ALARM SHALL BE HARD-WIRED WITH A BATTERY BACK-UP INTERCONNECTED.

BRICKWORK:

PROVIDE WALL-TIES TO BRICKWORK AT A MAXIMUM OF 600MM IN EACH DIRECTION AND WITHIN 300MM OF ANY ARTICULATION JOINTS. FOR DEEPS AND BEDS JOINTS SPACING REFER TO BCA PART 3.3.1. All brickwork and articulation joints must be constructed and comply with AS3700 & AS 4753.1 Masonry Codes in Buildings.

All brickwork should be installed in accordance with AS3700-2011

SPECIFICATION NOTES:

TIMBER FRAMING:

ALL TIMBER FRAMING THROUGH-OUT IS TO BE IN ACCORDANCE WITH AS1684-2010 AND ALSO READ IN CONJUNCTION WITH THE ENGINEERS DETAILS AND DRAWINGS.

FLOORING & FOOTINGS:

FINISHED FLOOR LEVELS ARE NOMINAL ONLY AND SHOULD BE CONFIRMED PRIOR TO START OF WORK.

READ IN ACCORDANCE WITH THE SOIL REPORT REQUIREMENTS. READ IN CONJUNCTION WITH THE ENGINEERS DETAILS FOR ALL FOOTING SIZE & DETAILS.

PLEASE NOTE MINIMUM FOUNDATION DEPTH TO BE DETERMINED AS "NOTED" IN THE SOIL REPORT

WALL LINTELS & SUPPORT STUDS THROUGH-OUT:

FOR ALL EXTERNAL PERIMETER LOAD-BEARING LINTELS AND THEIR SUPPORTING STUDS REFER TO THE ENGINEERS DETAILS AND DRAWINGS AND TO GENERAL SPECIFICATIONS

INTERNAL DOORS:

ALL INTERNAL DOORS ARE TO BE 2040mm HIGH UNLESS NOTED OTHERWISE ON THE PLAN.

WC DOORS:

HINGED DOORS THAT OPEN INWARDS TOWARDS THE PAN BUT THE EDGE OF THE DOOR IS A MINIMUM OF 1200MM AWAY FROM THE PAN AT ITS NEAREST POINT. MUST HAVE DEMOUNTABLE HINGES TO ALLOW EASY REMOVAL OF THE DOOR FROM THE OUTSIDE THE WC COMPARTMENT.

ROOFING:

CONCRETE TILED ROOF OVER ROOF BATTERS AT 330 CTRS TYPICAL THROUGH-OUT UNLESS NOTED OTHERWISE. METAL ROOF ON EITHER TIMBER OR REPAI BATTERS TO BE USED & FIXED IN ACCORDANCE WITH THE MANUFACTURERS DETAILS & SPECIFICATIONS & PROVIDE APPROVED COPPING & FLASHING THROUGH-OUT.

SELECTED TIMBER FRAMED ROOF TRUSSES AT 600mm MAX CTRS. TO MANUFACTURERS SPECIFICATIONS UNLESS NOTED OTHERWISE.

PLASTERBOARD UNED CEILING THROUGH-OUT

SELECTED PROFILE METAL EAVES GUTTER & FASCIA TO THE PERMETER OF THE ROOF AREA.

ALSO READ IN CONJUNCTION WITH ANY ENGINEERS DETAILS & DRAWINGS FOR ANY ROOF BEAMS, LINTELS, ETC.

4.5mm THICK F.C. SHEET CEILING LINING TO THE UNDERSIDE OF THE FIRST FLOOR EAVES.

LINTEL NOTES:

BUILDER IS TO NOTE THAT LINTELS SELECTED BY THE ENGINEER ARE DESIGNED TO CARRY ONLY STANDARD TILE ROOFING & TRUSS LOADS WHERE ARE AT 600mm MAXIMUM CTRS. IF ANY GREYER TRUSSES ARE LOCATED DIRECTLY ON ANY LINTELS.

TRUSS MANUFACTURER AND / OR BUILDER IS TO REFER TO THE ENGINEER TO CONFIRM IF LINTEL & SUPPORTING STUDS ARE ADEQUATE. ENGINEER'S DRAWINGS TAKE PRECEDENCE OVER NOMINAL SIZES INDICATED ON THESE PLANS.

WINDOWS:

ALL GLAZING SHALL CONFORM TO AS1989-2006. WINDOW SIZES SHOWN ARE NOMINAL DIMENSIONS ON THE WINDOW MANUFACTURERS CLOSEST STANDARD SPECIFICATIONS.

1. ALL GLAZING IS TO BE IN ACCORDANCE WITH AS1928-2006.
2. READ IN CONJUNCTION WITH THE WINDOW SCHEDULE & ELEVATIONS.
3. ALL EXTERNAL DOORS ARE TO BE FITTED WITH WEATHER STRIPS.
4. REFER TO WINDOW SCHEDULE FOR OPENING STYLES.

NOTE: THESE HEIGHTS MAY VARY SLIGHTLY ACCORDING TO DIFFERENCES IN BRICK SIZES

WALLING:

90 X 35 MHPD COMMON STUDS
70 X 35 F5 MOGAS
2 100 X 351 MHPD TOP PLATES EXTERNAL WALL
2 100 X 451 MHPD TOP PLATES - INTERNAL LOAD BEARING WALLS
2 100 X 451 MHPD JAMB STUDS

LININGS:

ALL PLASTERBOARD SHOULD BE INSTALLED IN ACCORDANCE WITH AS2581-2001

HEATING & COOLING:

ALL HEATING & COOLING UNITS, SIZES, TYPES & LOCATIONS ARE TO BE CONFIRMED BETWEEN THE BUILDER & THE SUPPLIER.

ALL HEATING & COOLING DUCTS & VENT LOCATIONS ARE TO BE CONFIRMED BY THE BUILDER PRIOR TO COMPLETION OF BUILDING TO DETERMINE IF ANY ADDITIONAL RISER DUCTS ARE REQUIRED.

ALL HEATING & COOLING POINTS LOCATIONS, MAY VARY FROM PLAN TO PLAN.

GEOTECHNICAL:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH A GEOTECHNICAL REPORT. IT IS THE BUILDER'S RESPONSIBILITY TO OBTAIN SUCH REPORTS PRIOR TO COMPLETION OF WORKS.

FULL HEIGHT CORNER JOINTS FOOTING TO EAVES AT 5m MAX CTRS UNLESS NOTED OTHERWISE - REFER TO ARTICULATION JOINT PLAN. REFER TO SOIL REPORT.

6 STAR ENERGY UPGRADE:

1. ALL EXTERNAL GAPS & CRACKS TO WINDOW/DOOR FRAMES SEALED ON COMPLETION
2. INSULATION APPLIED TO ALL WALLS, & GAPS/JOINTS SEALED.
3. SELF CLOSING EXHAUST FANS THROUGHOUT OR 'DRAFT STOPPER' SHROUDS OVER EXHAUST FANS.
4. WEATHER STRIPS/SEALS TO ALL EXTERNAL HINGED DOORS AND INTERNAL GARAGE ACCESS DOOR.
5. ALL CHIMNEYS FITTED WITH DAMPERS.
6. ALL DOWNLIGHTS OF "CLOSED-RING" TYPE.
7. INSULATION LEVELS AS DETAILED IN ATTACHED ENERGY RATING ASSESSOR'S REPORT.

BAL 12.5 NOTES:

- A. SCREENS - FIRE RESISTANT SCREENS TO ALL OPENABLE WINDOWS. WINDOWS MUST BE FITTED WITH EMBER GUARDS MADE FROM CORRUGATED RESISTANT STEEL, BRONZE OR ALUMINIUM OR PERFORATED SHEET WITH A MAXIMUM MESH SIZE OF 4mm. G. GARAGE DOORS MUST COMPLY WITH AS1989-2006 WHEN TO BE USED FOR VEHICLES AND THE GARAGE WHEN TO BE USED SHOULD BE CONSTRUCTED OF A NON-COMBUSTIBLE MATERIAL SHOULD BE FITTED WITH SUITABLE WEATHER STRIPS/RAUBRAT EXCLUDERS OR GUIDE TRACKS WITH A MAXIMUM GAP OF NO GREATER THAN 9MM.
- D. WINDOW GLAZING - MUST COMPLY WITH AS1989-2009 AND ALL GLASS WITHIN 600MM OF GROUND OR OTHER STRUCTURES WITHIN 18 DEGREES OF HORIZONTAL MUST BE GLAZED IN GRADE A SAFETY GLASS MINIMUM 4MM.

LINTEL SCHEDULE			
MEMBER SIZE	UPPER FLOOR	LOWER FLOOR	MAX. SIZE OF OPENING (mm)
	SINGLE STORY		
90x45 F17 KDHW	1000		800
140x45 F17 KDHW	1400		1200
190x45 F17 KDHW	1900		1600
240x45 F17 KDHW	2400		2000
290x45 F17 KDHW	2900		2400
340x45 F17 KDHW	3400		3000
90x45 F17 KDHW	1000 FRONT DOOR		800 REAR DOOR
90x45 F17 KDHW	900 GARAGE		800

WALLING FRAME CENTRES	
EXTERNAL STUDS	450mm
INTERNAL STUDS	450mm

ENERGY REPORT	
INSULATION TO BE INSTALLED TO THE FOLLOWING AREAS:	
CEILING (Excluding Garage)	R 3.5
WALLS (Garage, Laundry, Bathroom & WC)	R 2.5
REQUIREMENTS ARE AS PER STANDARD INCLUSION	
PENDING ENERGY REPORT - REF NO# -	
ADDITIONAL NOTES:	

NORTH:	SCALE: 1 : 1	SHEET NUMBER:	JOB NUMBER:
DATE: 2018	DRAWN: MD	1.2	18-0064
CHECKED: BH	REVISION DESCRIPTION:		JOB ISSUE
ISSUE DATE	REVISION		INITIALS
16/07/18	C	CONSTRUCTION PLANS	MD
16/07/18	D	CONSTRUCTION PLANS	MD
16/07/18	E	CONSTRUCTION PLANS	MD
16/07/18	F	CONSTRUCTION PLANS	MD



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Email: info@draftee.com.au
DD-AD-15334

GENERAL NOTES:

- * THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS.
- * FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE
- * UNLESS OTHERWISE DIMENSIONED ALL STUD WALLS ARE 90mm THICK AND ALL BRICK VENEER WALLS ARE 240mm THICK.
- * DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTERING, PLASTERBOARD ETC.
- * REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.

CLIENT

I/WE: _____ DATE: _____

CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.

SIGNED: _____ DATE: _____

SIGNED: _____ DATE: _____

SIGN OFF

GENERAL NOTES

HOUSE TYPE: One Storey Residence

PROPERTY ADDRESS: 291 YANAC-NETHERBY ROAD YANAC

CLIENT: MICHAEL & REBECCA DART



NOTE: SITE SCRAPE
SCRAPE SITE TO REMOVE SURFACE VEGETATION AND PROVIDE LEVEL BUILDING PLATFORM. PROVIDE ADDITIONAL CUT TO GARAGE AREA TO ACCOMMODATE 86mm SLAB STEP DOWN.

NOTE: AUTHORITY APPROVAL
SITING OF PROPOSED RESIDENCE IS SUBJECT TO APPROVAL BY DEVELOPER AND RELEVANT LOCAL AUTHORITY.

NOTE: BACK FILL
SITE TO BE BACK FILLED TO REBATE HEIGHT & FALL AWAY FROM DWELLING.

NOTE: DRIVEWAY GRADIENT
DRIVEWAY TO BE GRADED TO ENSURE MAXIMUM 1:6 GRADIENT FROM CROSSOVER TO GARAGE FLOOR.

NOTE: TERMITE PROTECTION
PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1

NOTE: DRAINAGE REQUIREMENTS

1. SITE PLUMBING & DRAINAGE SHALL COMPLY WITH AS 2870-2011 RESIDENTIAL SLABS & FOOTINGS, NCC312 DRAINAGE AND ASS500 NATIONAL PLUMBING AND DRAINAGE CODE.
2. SURFACE WILL BE GRADED AWAY FROM FOOTING (MINIMUM FALL 1:20).
3. TEMPORARY DOWNPIPES CONNECTED TO THE STORMWATER SYSTEM TO BE INSTALLED UPON COMPLETION OF THE ROOF COVER.
4. BASE OF CUT GRADED TO SILT TRAP(S) PROTECTED BY GRAVEL FILTERS 40R SPOON DRAINS AS REQUIRED TO REMOVE SURFACE WATER AWAY FROM FOOTINGS AND TO PREVENT ON SITE PONDING.
5. DESIGN OF SITE & STORMWATER DRAINAGE IS AT THE DISCRETION OF THE DRAINAGE CONTRACTOR.
6. SEWER PIPE AND DRAINAGE PIPE DIMENSIONS AND OFFSETS HAVE BEEN COPIED FROM RELEVANT AUTHORITIES OF THESE ASSETS. ALL MEASUREMENTS

NOTE: BOUNDARY PEGS

1. TO BE LOCATED PRIOR TO COMMENCEMENT OF WORKS.

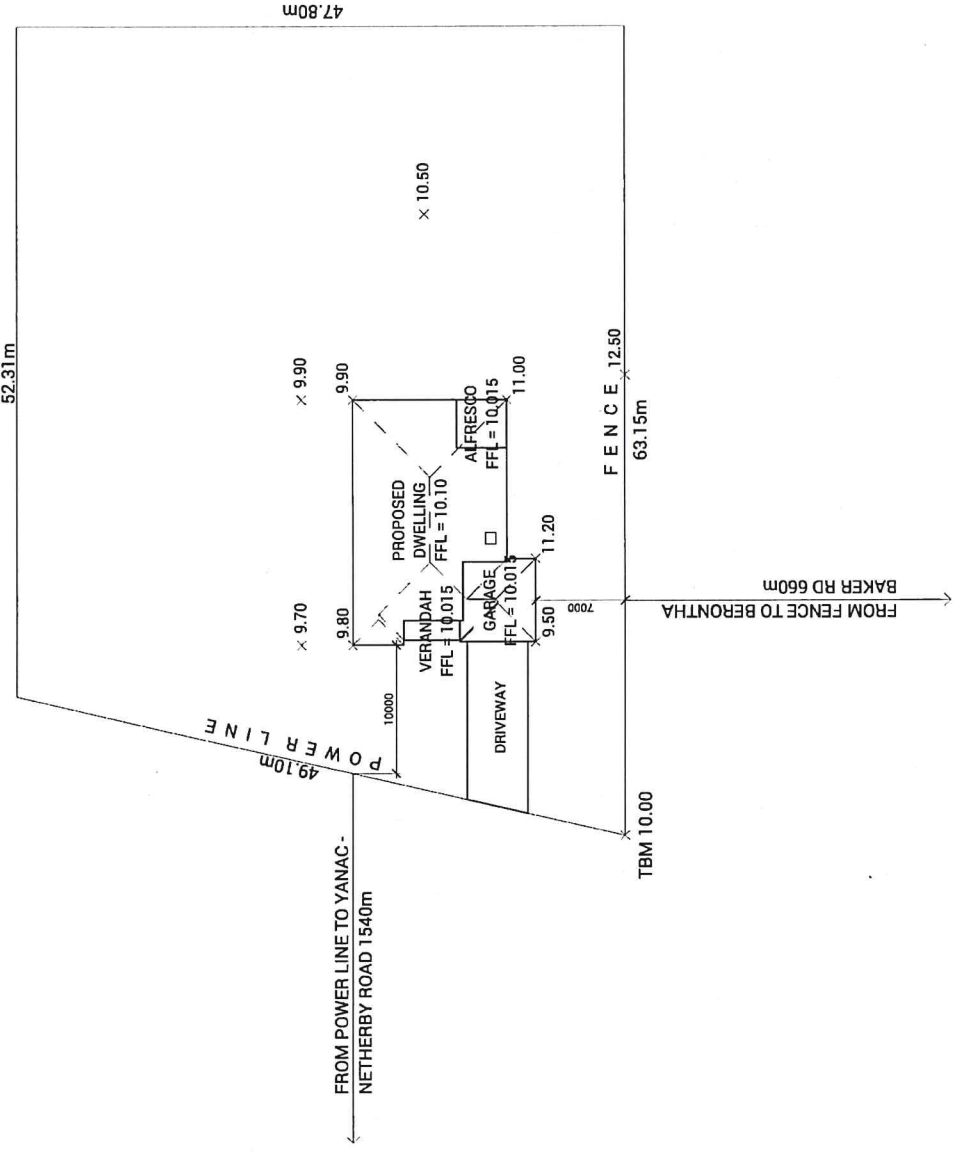
NOTE: DOWNPIPES

1. 100x75mm RECTANGULAR DOWNPIPES THROUGHOUT.
2. FLOW: L/S 10:1/983
3. CATCHMENT IS 47m² (AS 3500.3)
4. TO BE CONNECTED TO THE STORMWATER LINE AND LEGAL POINT OF DISCHARGE (LPOD)

NOTE: BOUNDARY WALLS

1. WALL ON BOUNDARY CALCULATION: MAX ALLOWABLE TO BE BUILT IS 10m + 25% OF REMAINING LENGTH OF BOUNDARY.

NOTE: BACK FILL
- SITE TO BE BACK FILLED TO REBATE HEIGHT & FALL AWAY FROM DWELLING.



SITE PLAN A
SCALE 1 : 400

LEGEND

⊕	- GAS METER
⊖	- HOT WATER SYSTEM
⊠	- METER BOX
■	- TITLE PEG
⊗	- SEWER VENT / I.S.
⊘	- TELSTRA PIT
⊙	- TREE
⊗	- STREET SIGN
⊘	- SEWER MANHOLE
⊙	- ELECT. PIT
⊗	- ELEC. POLE
⊘	- SIDE ENTRY PIT
⊙	- WATER VALVE
⊗	- SW PROPERTY INLET
⊘	- WATER METER
⊙	- STORM WATER PIT
⊗	- TBM
⊘	- HABITABLE ROOM WINDOW
⊙	- SIGN STAMPED ON CONCRETE KERB
⊗	- NON-HABITABLE ROOM WINDOW
⊘	- PRIVATE OPEN SPACE
⊙	- POWERLINES
⊗	- PROPOSED FENCE
⊘	- EXISTING FENCE
⊙	- SEWER PIPE
⊗	- STORM WATER PIPE
⊘	- EASEMENT
⊙	- SILT PIT
⊗	- AG DRAIN
⊘	- RETAINING WALL

AREAS

Ground Floor	
Garage	36.703 m ²
Dwelling	185.886 m ²
Alfresco	14.854 m ²
Verandah	6.645 m ²
TOTAL	244.088 m ²

SCALE: As indicated
DATE: 2018
DRAWN: MD
CHECKED: BH

SHEET NUMBER: 18-0064
JOB NUMBER: 2.1a
JOB ISSUE: F

ISSUE

ISSUE	DATE	REVISION DESCRIPTION	INITIALS
A	22/04/18	PRELIMINARY PLANS	MD
B	27/04/18	PRELIMINARY PLANS	MD
C	16/05/18	CONSTRUCTION PLANS	MD
D	16/05/18	CONSTRUCTION PLANS	MD
E	10/07/18	CONSTRUCTION PLANS	MD
F	12/07/18	CONSTRUCTION PLANS	MD

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Email: info@draftee.com.au
DP-AD-45324

GENERAL NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS.
- FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE.
- UNLESS OTHERWISE DIMENSIONED ALL STUD WALLS ARE TO BE CONCRETE AND ALL BRICK PRESENT WALLS ARE 200mm THICK.
- DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS, FLASHING BOARD, ETC.
- REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.

CLIENT

1/1/18

CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.

SIGNED: DATE:

SIGNED: DATE:

SIGN OFF

SHEET CONTENT:

1. SITE PLAN A

HOUSE TYPE: One Storey Residence

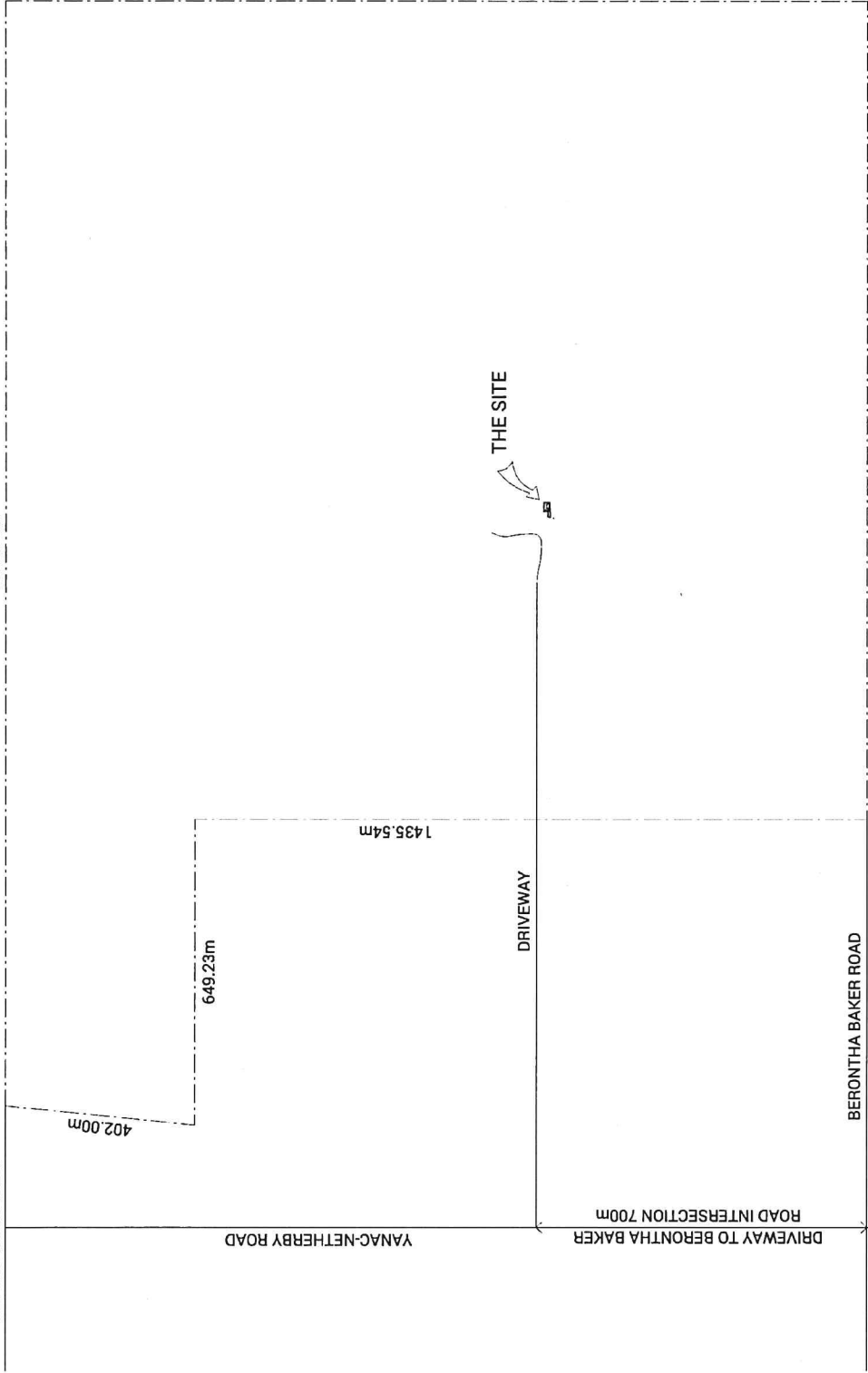
PROPERTY ADDRESS: 231 YANAC-NETHERBY ROAD

CLIENT: YANAC

CLIENT: MICHAEL & REBECCA DART

Hotondo Homes

LEYONJHELMS ROAD 1983.06m



THE SITE

SITE PLAN B
SCALE 1 : 10000



SHEET CONTENT:

SITE PLAN B

HOUSE TYPE: One Storey Residence

PROPERTY ADDRESS: 291 YANAC-NETHERBY ROAD YANAC

CLIENT: MICHAEL & REBECCA DART

SIGN OFF

SIGNED: _____ DATE: _____

SIGNED: _____ DATE: _____

CLIENT

I/WE: _____

CONSENT THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES

GENERAL NOTES:

- * THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS.
- * FIGURED DIMENSIONS ARE TO TAKE PREFERENCES OVER SCALE.
- * UNLESS OTHERWISE INDICATED ALL STUD WALL ARE 100mm THICK AND ALL BRICK VENEER WALLS ARE 200mm THICK.
- * DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD ETC
- * REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.

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SCALE: 1 : 10000

DATE: 2018

DRAWN: Author

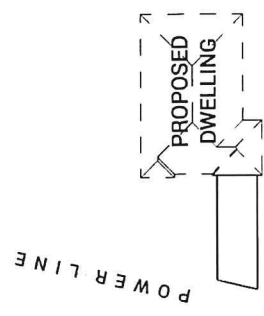
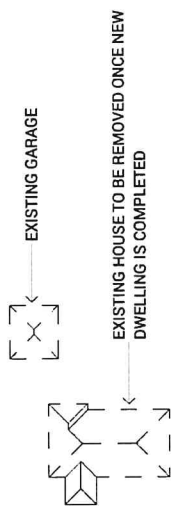
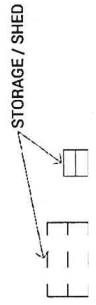
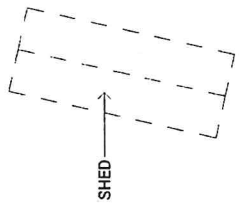
CHECKED: Checker

ISSUE	DATE	REVISION DESCRIPTION	INITIALS
E	02/04/18	CONSTRUCTION PLANS	MD
F	18/07/18	CONSTRUCTION PLANS	MD

SHEET NUMBER: 2.1b

JOB NUMBER: 18-0064

JOB ISSUE: F



SITE PLAN C
SCALE 1 : 600



SHEET CONTENT:
SITE PLAN C
 HOUSE TYPE:
 One Storey Residence
 PROPERTY ADDRESS:
 291 YANAC-NETHERBY ROAD
 YANAC
 CLIENT:
 MICHAEL & REBECCA DART

SIGN OFF

CLIENT
 I/WE
 CAN ONLY USE OR REUSE LOGOS WITH OUR PERMISSIONS AND
 AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.
 SIGNED: DATE:
 SIGNED: DATE:

GENERAL NOTES:
 * THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS.
 * FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE.
 * UNLESS OTHERWISE DIMENSIONS ALL TO WALLS, BRICKS EXCLUDING BATTENS, PLASTERBOARD 12mm THICK.
 * DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BATTENS.
 * REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.

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 Email: info@draftee.com.au
 DP-AD 45234

NORTH: 	SCALE: 1 : 600	SHEET NUMBER: 18-0064 2.1C	JOB NUMBER: 18-0064
DATE: 2018	DATE: 2018	REVISION DESCRIPTION:	JOB ISSUE: F
DRAWN: MD	CHECKED: BH		INITIALS: MD
ISSUE: 11/09/18	CONSTRUCTION PLANS		

NOTE:
SITE TO BE BACK FILLED TO REBATE
HEIGHT & FALL AWAY FROM DWELLING.

52.31m

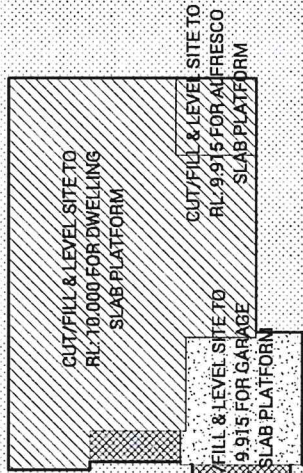
POWER LINE
49.10m

47.80m

TBM 10.000

FENCE

63.15m



SHEET CONTENT:
SITE CUT & FILL
HOUSE TYPE:
One Storey Residence
PROPERTY ADDRESS:
291 YANAC-NETHERBY ROAD
YANAC
CLIENT:
MICHAEL & REBECCA DART

CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND
AUTHORISE THEIR USE FOR NEXT STAGE PURPOSE.
SIGNED: _____ DATE: _____
SIGNED: _____ DATE: _____

CLIENT

GENERAL NOTES:
* THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND
CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR
TO COMMENCING ANY SITE WORKS.
* FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER
SCALE
* UNLESS OTHERWISE DIMENSIONED ALL STUD WALL ARE
90mm THICK AND ALL BRICK VENEER WALLS ARE 240mm
THICK.
* DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF
PIERS INCLUDING BATTERS, PARTISANS ETC
* REFER TO ENGINEERS DETAILS FOR STRUCTURAL
MEMBER.

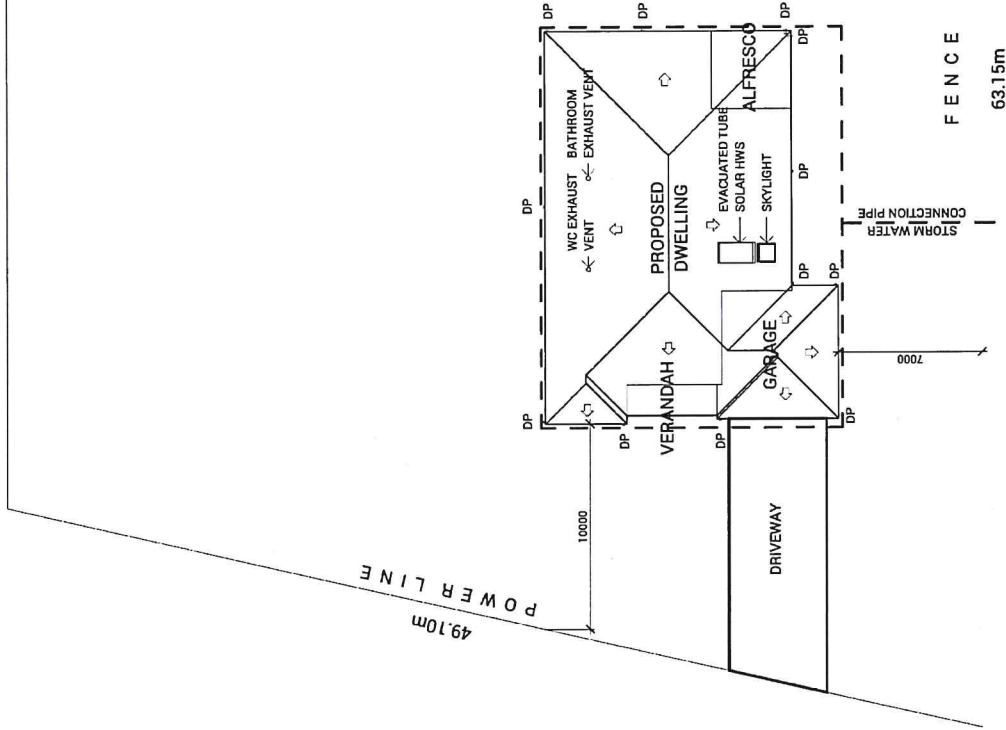


SCALE: 1 : 250		SHEET NUMBER: 2.2		JOB NUMBER: 18-0064	
DATE: 2018		DRAWN: MD		JOB ISSUE: F	
CHECKED: BH		REVISION DESCRIPTION		INITIALS	
ISSUE	DATE	CONSTRUCTION PLANS	MD	CONSTRUCTION PLANS	MD
D	16/07/18	CONSTRUCTION PLANS	MD	CONSTRUCTION PLANS	MD
E	16/07/18	CONSTRUCTION PLANS	MD	CONSTRUCTION PLANS	MD
F	16/07/18	CONSTRUCTION PLANS	MD	CONSTRUCTION PLANS	MD



52.31m

47.80m



SCALE: 1 : 250		SHEET NUMBER: 18-0064	JOB NUMBER: 18-0064
DATE: 2018		JOB ISSUE: 2.3	
DRAWN: MD		CHECKED: BH	
DATE: 18/06/18		REVISION DESCRIPTION	
C	18/06/18	CONSTRUCTION PLANS	MD
D	18/07/18	CONSTRUCTION PLANS	MD
E	03/08/18	CONSTRUCTION PLANS	MD
F	18/09/18	CONSTRUCTION PLANS	MD



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 DP-AD-45324

GENERAL NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS
- FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE
- UNLESS OTHERWISE DIMENSIONED ALL STUD WALL ARE 100mm THICK AND ALL BRICK VENEER WALLS ARE 240mm THICK
- FINISHES TO BE SPECIFIED IN SCHEDULES & PLACE OF WORKS
- FINISHES TO BE LOGIC BATTENS, PLASTERBOARD, ETC
- REFER TO ENGINEERS DETAILS FOR STRUCTURE MEMBERS.

CLIENT

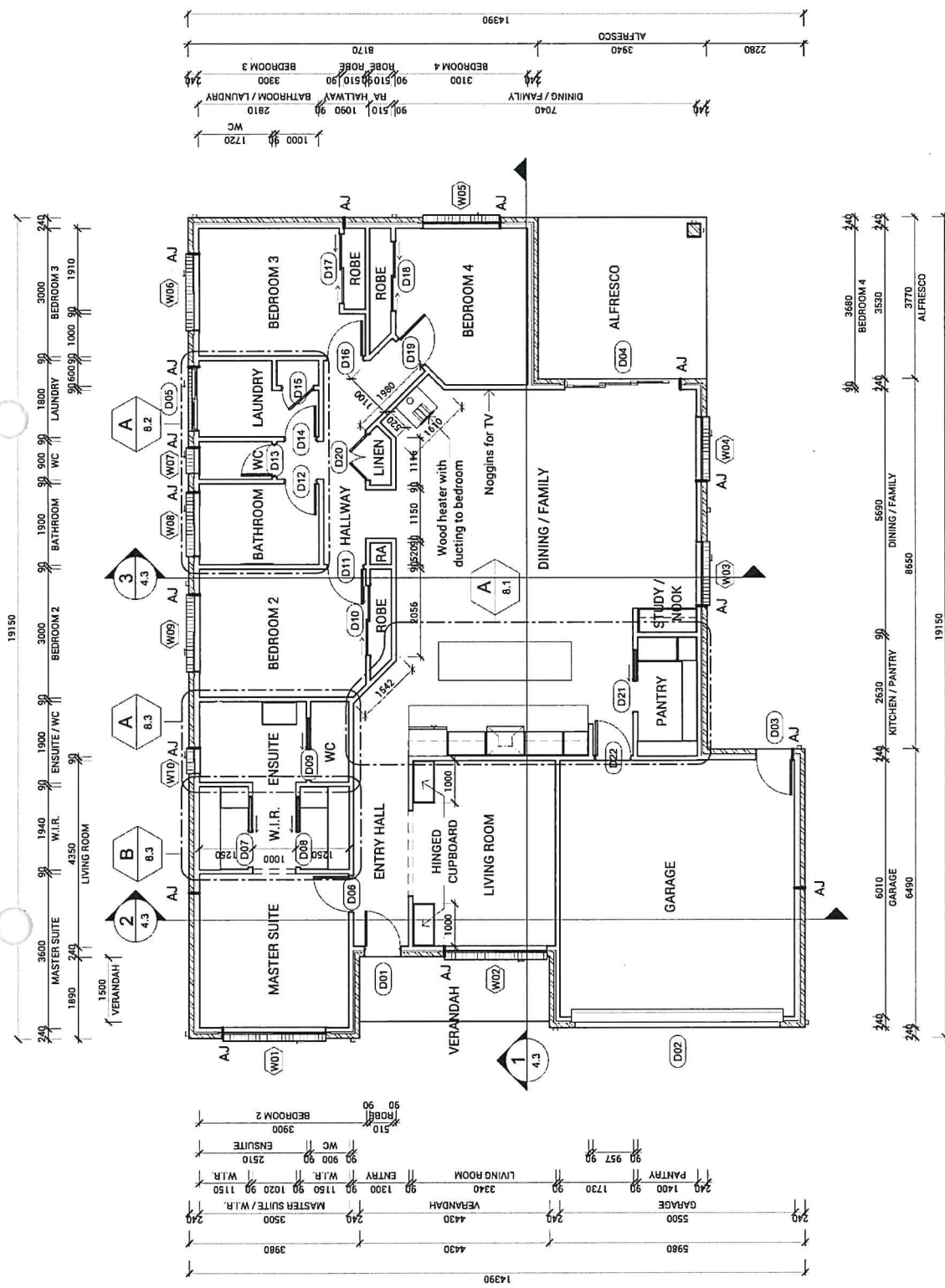
I / WE
 CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.

SIGNED: DATE:
 SIGNED: DATE:

SHEET CONTENT:

ROOF PLAN & DRAINAGE
 HOUSE TYPE: One Storey Residence
 PROPERTY ADDRESS: 291 YANAC-NETHERBY ROAD YANAC
 CLIENT: MICHAEL & REBECCA DART





SCALE: 1:100	SHEET NUMBER: 18-0064	JOB NUMBER: 18-0064
DATE: 2018	DRAWN: MD	CHECKED: BH
3.1		
ISSUE	DATE	REVISION DESCRIPTION
A	22/01/18	PRELIMINARY PLANS
B	27/01/18	PRELIMINARY PLANS
C	18/01/18	CONSTRUCTION PLANS
D	18/01/18	CONSTRUCTION PLANS
E	18/01/18	CONSTRUCTION PLANS
F	18/01/18	CONSTRUCTION PLANS

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GENERAL NOTES:

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- * DIMENSIONS TO STRUCTURAL FINISHES & FACE OF BRICKS INCLUDING BATTERS, FLASHINGS, ETC.
- * REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.

CLIENT

1/ WE: _____ DATE: _____
 2/ WE: _____ DATE: _____

CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEM FOR USE FOR THE PROJECT PURPOSES.

SIGNED: _____ DATE: _____
 SIGNED: _____ DATE: _____

SIGN OFF

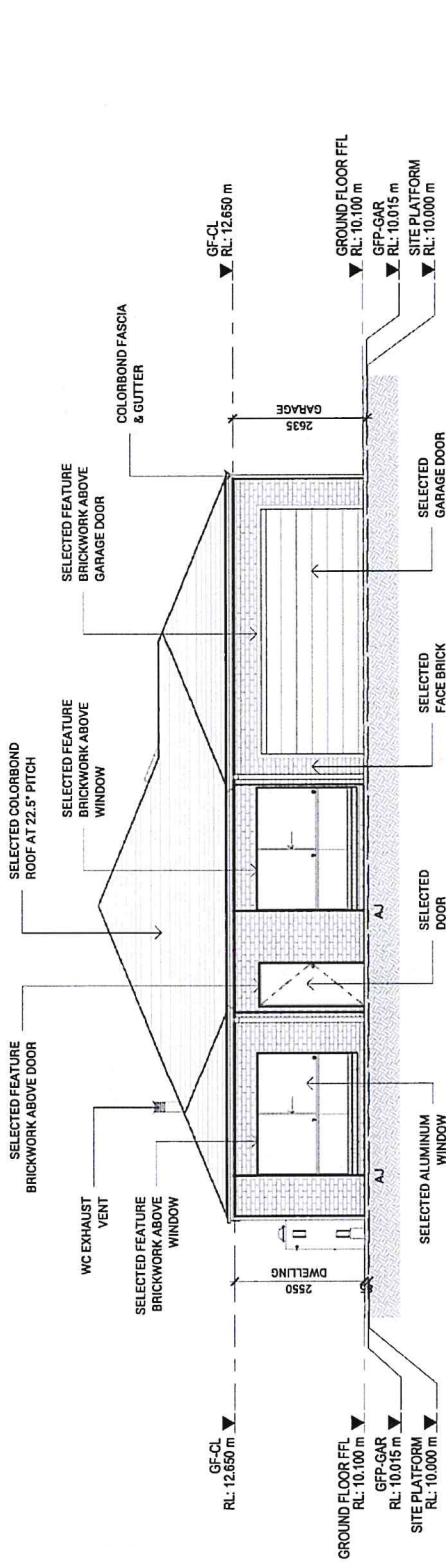
SHEET CONTENT:

PLAN - GROUND FLOOR

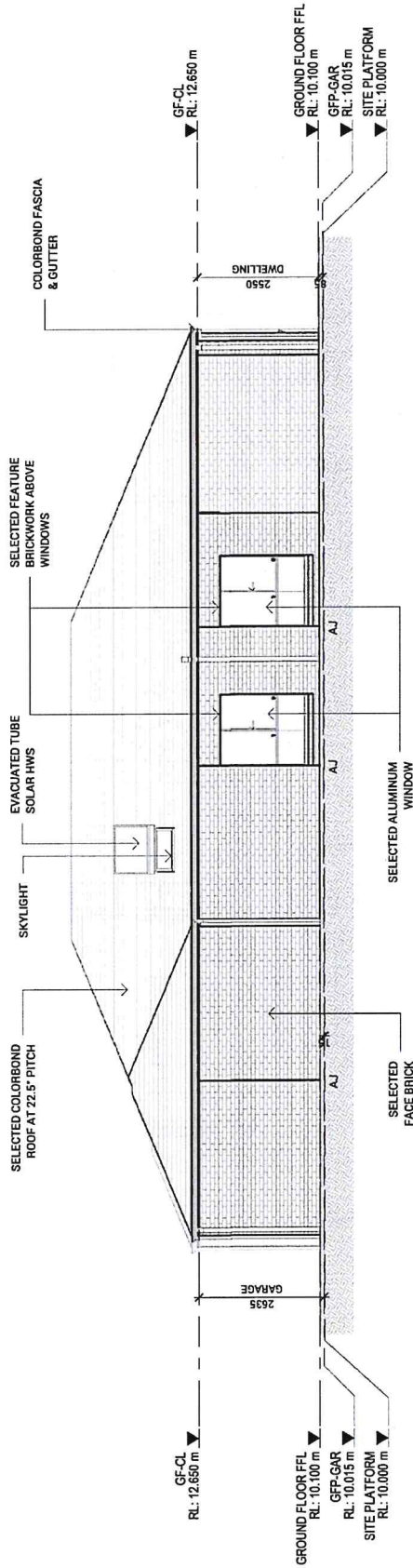
HOUSE TYPE: One Storey Residence

PROPERTY ADDRESS: 291 YANAC-NETHERBY ROAD YANAC

CLIENT: MICHAEL & REBECCA DART



ELEVATION A



ELEVATION B

SCALE: 1 : 100

NORTH:

SHEET NUMBER: 18-0064

JOB NUMBER: 18-0064

DATE: 2018

JOB ISSUE: 4.1

DRAWN: MD

CHECKED: BH

ISSUE	DATE	REVISION DESCRIPTION	INITIALS
A	25/04/18	PRELIMINARY PLANS	MD
B	27/04/18	PRELIMINARY PLANS	MD
C	18/05/18	CONSTRUCTION PLANS	MD
D	18/07/18	CONSTRUCTION PLANS	MD
E	18/07/18	CONSTRUCTION PLANS	MD
F	18/07/18	CONSTRUCTION PLANS	MD

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 Phone: 03 9607 2118
 Email: info@draftee.com.au
 DP-AD-45334

GENERAL NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS
- FOURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE
- UNLESS OTHERWISE DIMENSIONED ALL STUD WALL ARE 100mm THICK AND ALL BRICK VENEER WALLS ARE 76mm THICK
- DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKWORK ARE TO FACE UNLESS OTHERWISE SPECIFIED
- REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS

CLIENT

I / WE _____

CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.

SIGNED _____ DATE _____

SIGNED _____ DATE _____

IGN OFF

SHEET CONTENT:

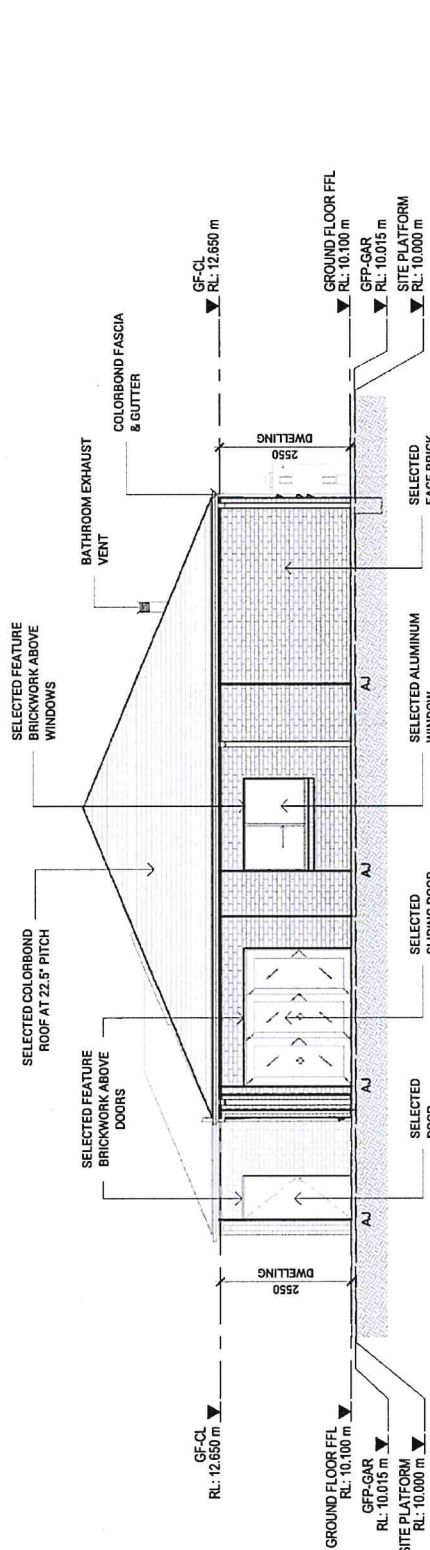
ELEVATIONS A & B

HOUSE TYPE: One Storey Residence

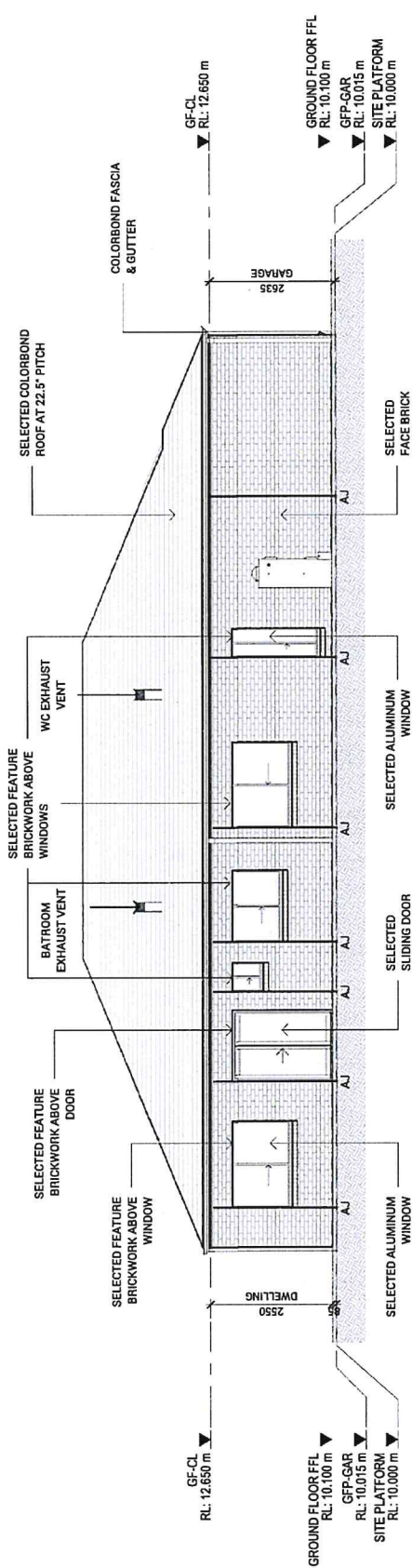
PROPERTY ADDRESS: 231 YANAC-NETHERBY ROAD

CLIENT: YANAC

CLIENT: MICHAEL & REBECCA DART



ELEVATION C



ELEVATION D



SHEET CONTENTS:
ELEVATIONS C & D
HOUSE TYPE:
 One Storey Residence
PROPERTY ADDRESS:
 231 YANAC-NETHERBY ROAD
 YANAC
CLIENT:
 MICHAEL & REBECCA DART

SIGN OFF

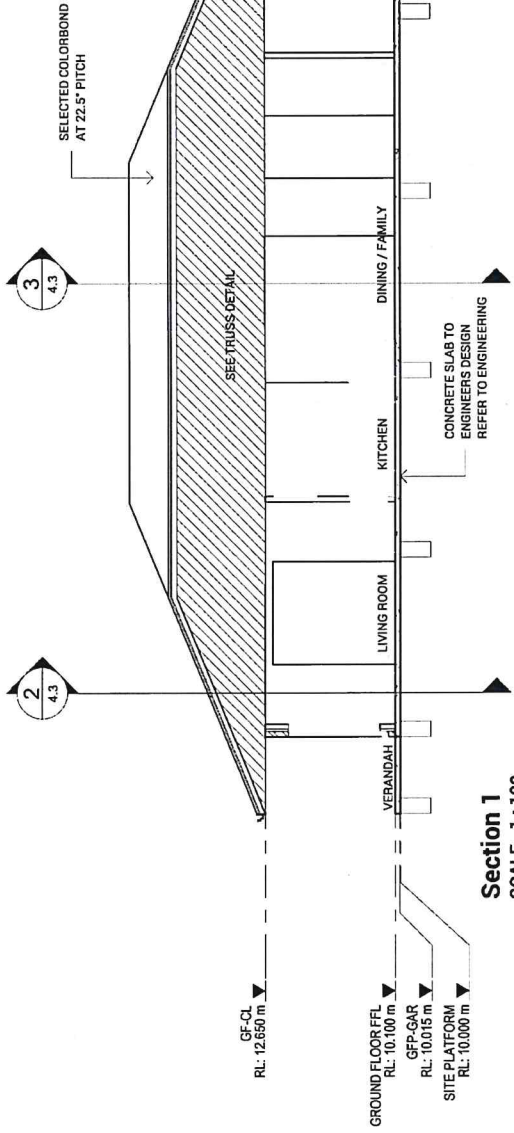
CLIENT
 / / WE
 CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.
 SIGNED: DATE
 SIGNED: DATE

GENERAL NOTES:
 * THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE. PRIOR TO COMMENCING ANY SITE WORK.
 * FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE
 * UNLESS OTHERWISE DIMENSIONED ALL STUD WALL ARE 100mm THICK AND ALL BRICK VENTIL WALLS ARE 240mm THICK.
 * DIMENSIONS TO STRUCTURAL THRESHLS & FACE OF BRICKS UNLESS OTHERWISE STATED.
 * REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.

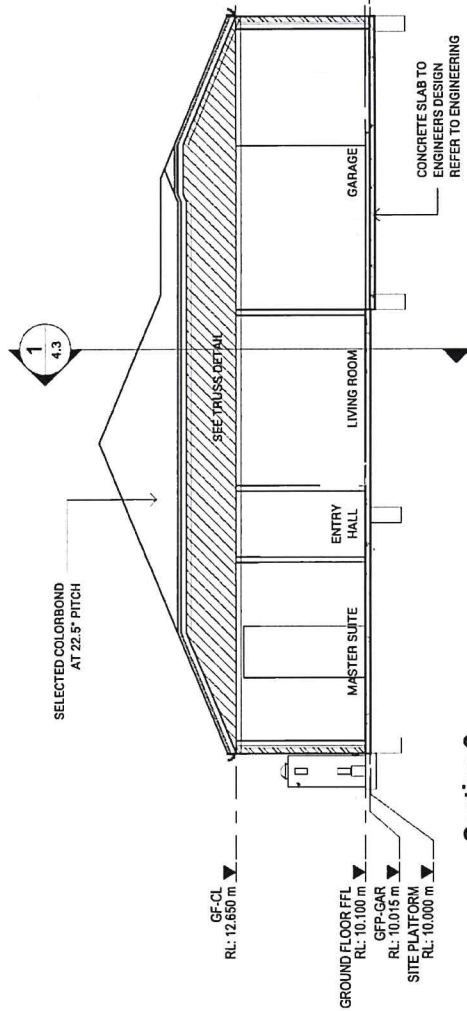


SCALE: 1 : 100		SHEET NUMBER: 18-0064	
DATE: 2018	DRAWN: MD	JOB ISSUE: 4.2	JOB NUMBER: 18-0064
CHECKED: BH	REVISION DESCRIPTION:	INITIALS:	
A	27/04/18	PRELIMINARY PLANS	MD
B	18/06/18	CONSTRUCTION PLANS	MD
C	18/07/18	CONSTRUCTION PLANS	MD
D	18/07/18	CONSTRUCTION PLANS	MD
E	18/07/18	CONSTRUCTION PLANS	MD
F	18/07/18	CONSTRUCTION PLANS	MD

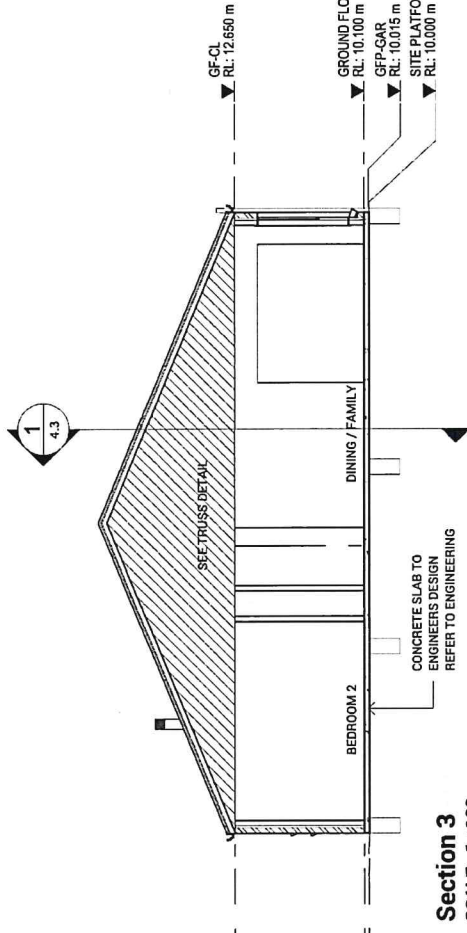
NOTES:
 - ROOFS MUST COMPLY WITH CLAUSES 5.6.1, 5.6.2, 5.6.3, 5.6.4 AND 5.6.6 OF THE BAL -12.5 REQUIREMENTS OF AS3959 WITH THE FOLLOWING VARIATIONS:
 (a) ALUMINIUM MESH OR PERFORATED SHEET MUST NOT BE USED FOR SCREENING PURPOSES
 (b) ANY SARKING-TYPE MATERIAL MUST HAVE A FLAMABILITY INDEX NOT MORE THAN 15
 - ROOF LIGHTS MUST COMPLY WITH CLAUSE 5.6.5 OF THE BAL -12.5 REQUIREMENTS OF AS3959 WITH THE FOLLOWING VARIATIONS
 (a) ALUMINIUM MESH OR PERFORATED SHEET MUST NOT BE USED FOR SCREENING PURPOSES
 (b) ROOF LIGHTS AND ASSOCIATED SHAFTS THROUGH THE ROOF SPACE MUST BE SEALED WITH A NON-COMBUSTIBLE SLEEVE OR LINING
 - GUTTERS AND DOWNPIPES SHALL BE NON-COMBUSTIBLE



Section 1
SCALE 1 : 100



Section 2
SCALE 1 : 100



Section 3
SCALE 1 : 100

SCALE: 1 : 100		SHEET NUMBER: 18-0064	
DATE: 2018		JOB ISSUE: 4.3	
DRAWN: MD		CHECKED: BH	
ISSUE	DATE	REVISION DESCRIPTION	INITIALS
D	16/07/18	CONSTRUCTION PLANS	MD
E	07/08/18	CONSTRUCTION PLANS	MD
F	18/09/18	CONSTRUCTION PLANS	MD

draftee
 Level 2, 470 Collins Street, Melbourne, VIC 3000
 Phone: 61 3 8447 2118
 Email: info@draftee.com.au
 DP-AD-45204

GENERAL NOTES:
 * THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS
 * FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE
 * UNLESS OTHERWISE DIMENSIONED ALL STUD WALL ARE 90mm THICK AND ALL BRICK VENEER WALLS ARE 240mm THICK
 * DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRIGGS EXCLUDING BATTENS, FLASTERBOARD ETC
 * REFER TO ENGINEERS DETAILS FOR STRUCTURE MEMBERS.

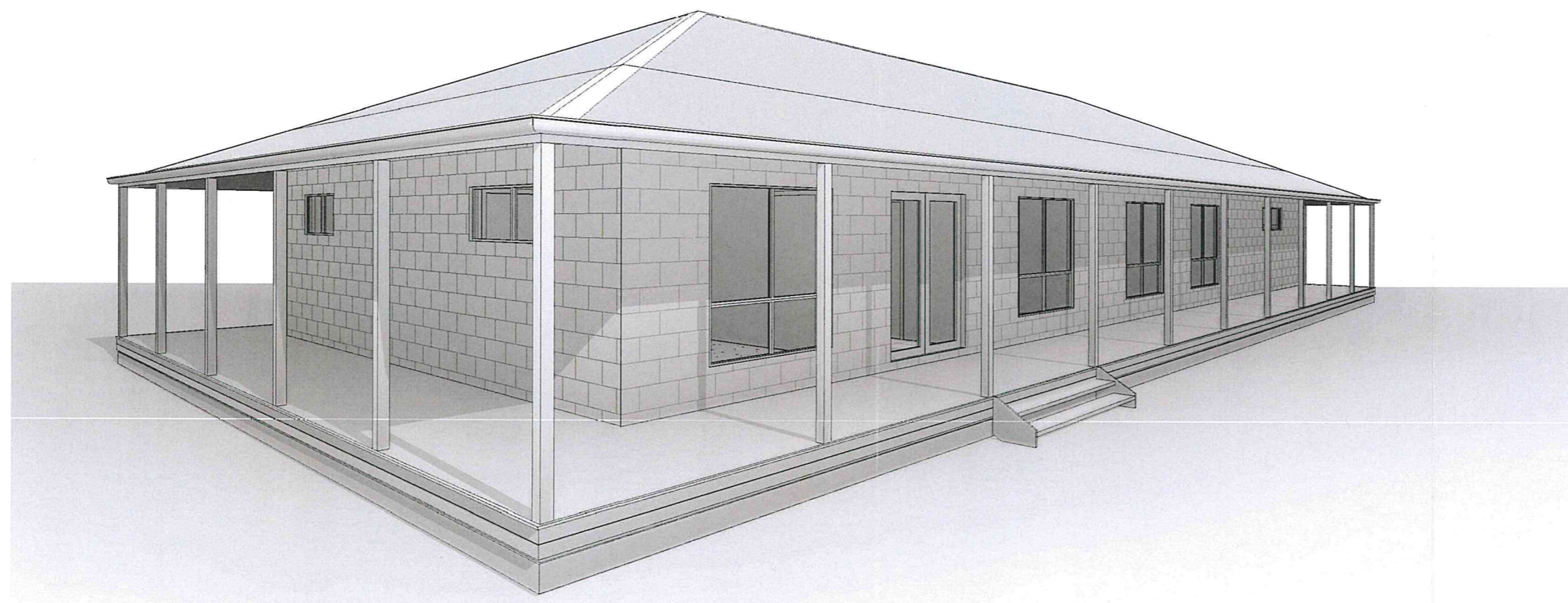
CLIENT
 I / WE: _____
 CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES
 SIGNED: _____ DATE: _____
 SIGNED: _____ DATE: _____

SIGN OFF
 SHEET CONTENT:
 SECTIONS
 HOUSE TYPE: One Storey Residence
 PROPERTY ADDRESS: 291 YANAC-NETHERBY ROAD
 YANAC
 CLIENT: MICHAEL & REBECCA DART

Hotondo Homes

DOCUMENT SET

SHEET NO.	DWG TITLE
1	COVER SHEET
2	SITE PLAN
3	FLOOR PLAN
4	ELEVATIONS NORTH & SOUTH
5	ELEVATIONS EAST & WEST
6	PERSPECTIVES



Head Office & Factory: 212-214 Karinie Street, Swan Hill VIC 3585
 Phone 03 5036 0000 or 1800 008 024

Project title	PROPOSED NEW RESIDENCE	
Client	N & N SLEEP	
Address	1 KRUGER ROAD RAINBOW VIC 3424	Project No. S - 698

KRUGER ROAD

31.99 m 90° 00' 00"

44.9 m
SETBACK

SETOUT NOTE:
BUILDER TO ENSURE AT SETOUT STAGE THAT ALL DIMENSIONS (SPECIFICALLY SETBACKS FROM BOUNDARIES) ARE CORRECT PRIOR TO EXCAVATION AND ORDERING OF MATERIALS. REPORT ANY DISCREPANCIES TO SWANBUILD IMMEDIATELY

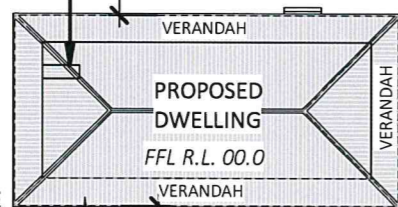
TREE LEGEND

1. Palmtree
2. Flametree

DIMBOOLA-RAINBOW ROAD

149.40 m 148° 19' 18"

PROPOSED RAINWATER TANK. ALL STORM WATER TO DIVERTED TO TANK. OVER FLOW OF TANK DIVERTED TO POINT OF DISCHARGE



DOUBLE GARAGE
6.3m x 6.6m

127.14 m 0° 00' 00"

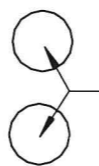
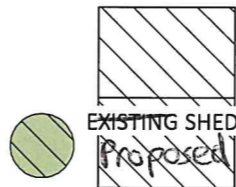


EXISTING WATER TANKS

EXISTING SHED

69.64 m
SETBACK

LOT 24E
1 KRUGER ROAD
9053.95 m²



EXISTING WATER TANKS

110.44 m 270° 00' 00"

STORMWATER

90 mm Ø CLASS 6 UPVC STORM WATER LINE LAID TO A MINIMUM OF 1:100 AND CONNECTED TO THE LEGAL POINT OF DISCHARGE TO LOCAL AUTHORITIES REQUIREMENTS. PROVIDE INSPECTION OPENINGS AT 9000mm CTS AND AT EACH CHANGE OF DIRECTION. THE COVER TO UNDER GROUND STORMWATER DRAINS SHALL BE NOT LESS THAN:

- 100mm UNDER SOIL
- 50mm UNDER PAVED OR CONCRETE AREAS
- 100mm UNDER UNREINFORCED CONCRETE OR PAVED DRIVEWAYS
- 75mm UNDER REINFORCED CONCRETE DRIVEWAYS

STORMWATER DRAINAGE TO COMPLY WITH AS/NZS 3500.3. LAYOUT SHOWN IS DIAGRAMATIC ONLY. BUILDER OR PLUMBER TO MODIFY LAYOUT PROVIDING DRAINAGE COMPLIES WITH AUSTRALIAN STANDARDS AND LOCAL AUTHORITIES REQUIREMENTS.

ENERGY RATING REQUIREMENTS:

UNLESS PERMITTED OTHERWISE, CLASS ONE BUILDINGS SHALL REACH A 6 STAR ENERGY RATING. 6 STAR RATED DESIGNS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED APPROVED PLANS AS PROVIDED BY THE ACCREDITED ENERGY RATER WITHOUT ALTERATION.

IN ORDER TO ACHIEVE A 6 STAR RATING, BUILDER IS TO:

- PROVIDE R2.0 INSULATION TO EXTERNAL WALLS.
- PROVIDE R4.0 INSULATION TO CEILINGS.
- WEATHERSTRIP EXTERNAL DOORS.
- SEAL GAPS & CRACKS
- EXHAUST FANS TO BE FITTED WITH "DRAFT STOPPA" OR APPROVED SIMILAR SEALING DEVICE.
- WINDOW SIZE, OPERATION, GLAZING TYPE AND MANUFACTURER (IF SPECIFIED) TO BE AS PER WINDOW SCHEDULE. ALL WINDOWS TO BE FITTED WITH WEATHER SEALS TO OPENABLE WINDOW SASHES.
- A MINIMUM 2000 LITRE RAINWATER TANK FILLED FROM A ROOF AREA NO LESS THAN 50m² CONNECTED TO WC'S FOR FLUSHING OR AN APPROVED SOLAR OR HEAT PUMP HOT WATER SERVICE TO BE PROVIDED

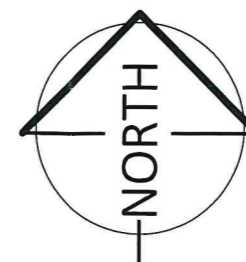
GAPS & CRACKS:

BUILDER TO PROVIDE A CONTINUOUS IMPERMEABLE BARRIER WITH THE DOUBLE SIDED SISALATION FOIL. PAY PARTICULAR ATTENTION TO:

- 1) TAPING JOINS AND AROUND PENETRATIONS (SUCH AS PLUMBING SERVICES).
- 2) ENSURE THAT THE MATERIAL COVERS THE GAP BETWEEN STUDS AND DOOR AND WINDOW FRAMES. IF FLASHING ATTACHES TO WINDOW FRAMES, FLASHING SHOULD BE TAPED OVER SISALATION FOIL.

SITE PLAN

1 : 500



Swanbuild

H O M E S

Head Office & Factory:

212-214 Karinie Street, Swan Hill VIC 3585

Phone

03 5036 0000 or 1800 008 024

Lic:

Vic DB-U3234, N.S.W. 8932C

ABN:

64 753 985 826

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PROPOSED NEW RESIDENCE

Project title

N & N SLEEP

Client

1 KRUGER ROAD
RAINBOW VIC 3424

Address

SITE PLAN

Drawing title

Project No.

S - 698

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N K

2 OF 6

Drawn

Sheet No.

1 : 500

OCT 2018

Scale:

Date

Client Relationship Manager Approval Date

Builder Approval Date

Client Approval Date

DESCRIPTION	DATE	ISSUED

Revisions

PLANNING DRAWINGS (NOT FOR CONSTRUCTION)

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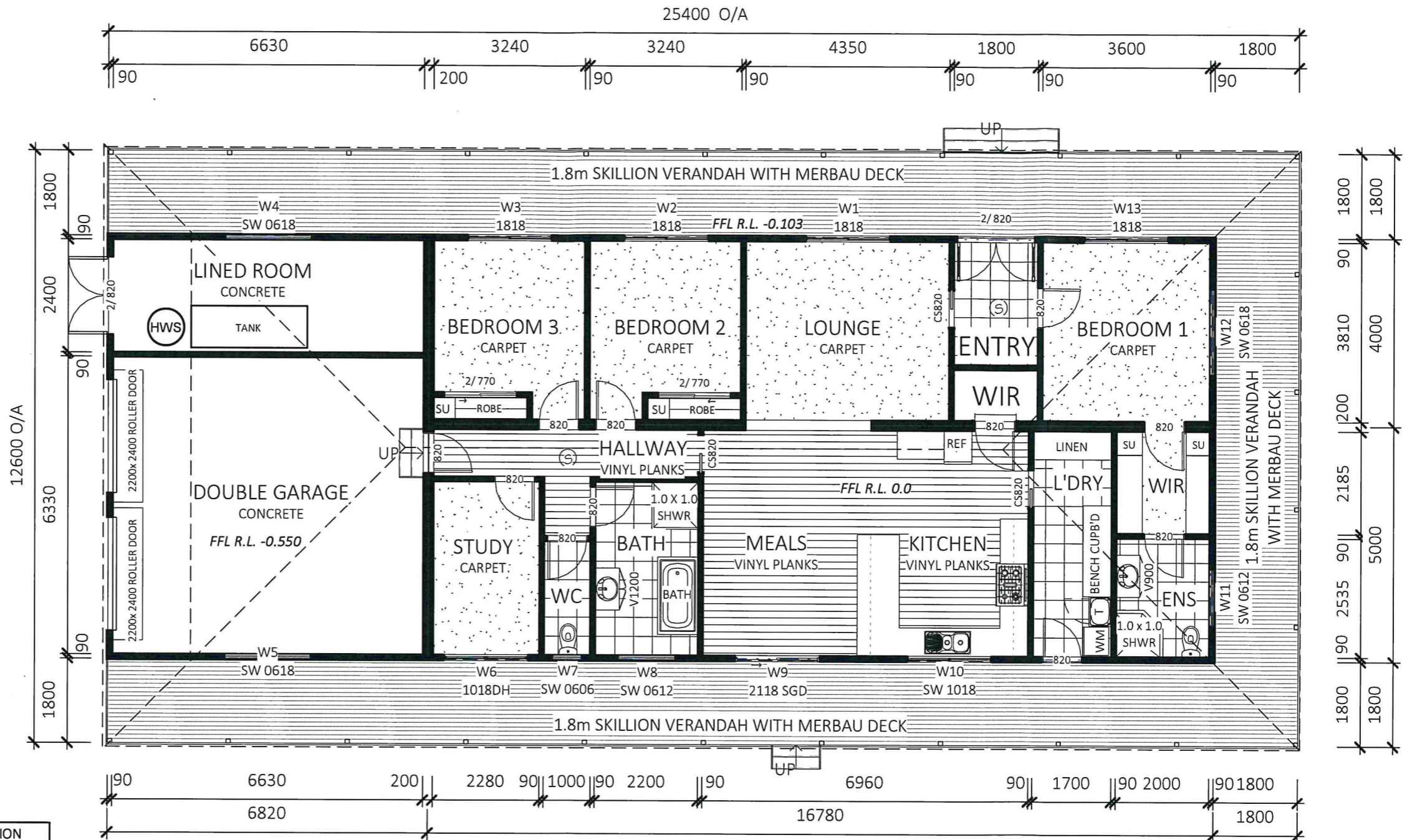
STAIRS TO COMPLY WITH BCA 3.9.1.3 & 3.9.1.4

- a) RISERS (R) TO BE BETWEEN 115mm & 190mm
- b) GOINGS (G) TO BE BETWEEN 240mm & 355mm
- c) R2 + G BETWEEN 550mm & 700mm
- d) NO OPENING ARE TO PERMIT A SPHERE WITH A MAXIMUM DIAMETER OF 125mm TO PASS THROUGH
- e) A CONTINUOUS, UNOBSTRUCTED HANDRAIL LOCATED ALONG AT LEAST ONE SIDE OF ALL STAIRS THAT PROVIDE A CHANGE IN FLOOR LEVEL OF AT LEAST 1m, AT A HEIGHT OF AT LEAST 865mm ABOVE THE STAIR NOSINGS
- f) STAIRS SHOULD HAVE A SLIP RESISTANCE CLASSIFICATION AS BELOW

APPLICATION

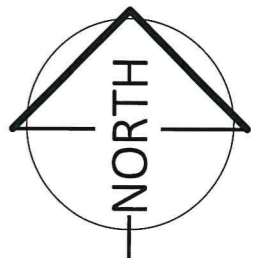
	SITE CONDITION	
	DRY	WET
TREAD OR LANDING SURFACE	P3 OR R10	P4 OR R11
NOSING OR LANDING EDGE STRIP	P3	P4

- Ⓢ SMOKE DETECTORS TO BE LOCATED BETWEEN LIVING & SLEEPING AREAS.
- SMOKE DETECTORS TO BE INTERCONNECTED & HARD WIRED TO MAINS POWER.
- INSTALLATION TO COMPLY WITH AS 3786



FLOOR PLAN

1 : 100



SMART ROBE SYSTEM	
TYPE	STUD OPENING
2/ 770	1620
2/ 770	1620

2/ 770	1620
2/ 770	1620

AREA	m ²	SQ'S	LOCATION
DOUBLE GARAGE	44.1 m ²	4.7	GARAGE
LINED ROOM	17.1 m ²	1.8	GARAGE
GARAGE TOTAL	61.1 m ²	6.6	
LIVING	151.2 m ²	16.3	LIVING
LIVING TOTAL	151.2 m ²	16.3	
VERANDAH	107.5 m ²	11.6	OUTDOOR
OUTDOOR AREA	8734.1 m ²	940.2	OUTDOOR
OUTDOOR TOTAL	8841.6 m ²	951.7	
TOTAL	9054.0 m ²	974.6	



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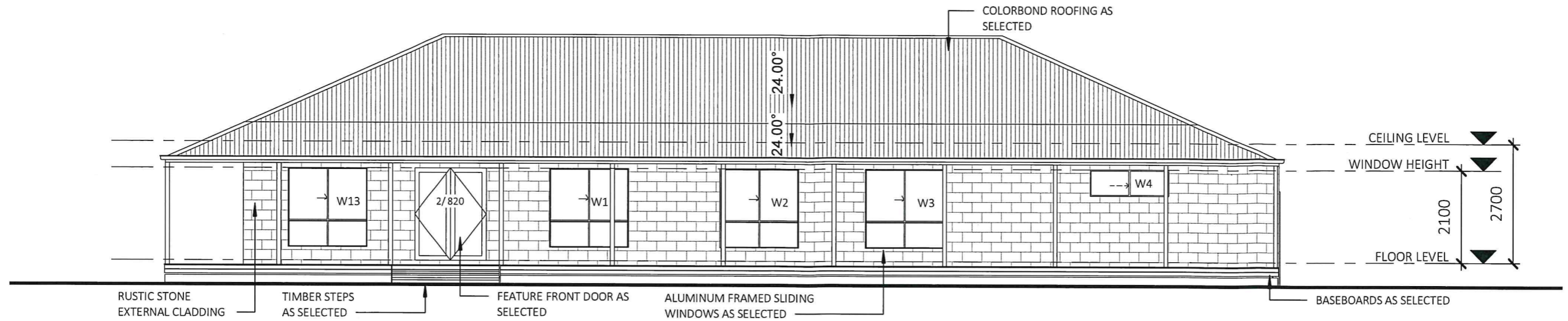
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DESCRIPTION	DATE	ISSUED

Project No. S - 698	Project: PROPOSED NEW RESIDENCE
Client: N & N SLEEP	Address: 1 KRUGER ROAD RAINBOW VIC 3424
Scale: 1 : 100	Sheet No. 3 OF 6
Drawn N K	Date OCT 2018

Drawing title: FLOOR PLAN	
Client Relationship Manager Approval	Date
Builder Approval	Date
Client Approval	Date

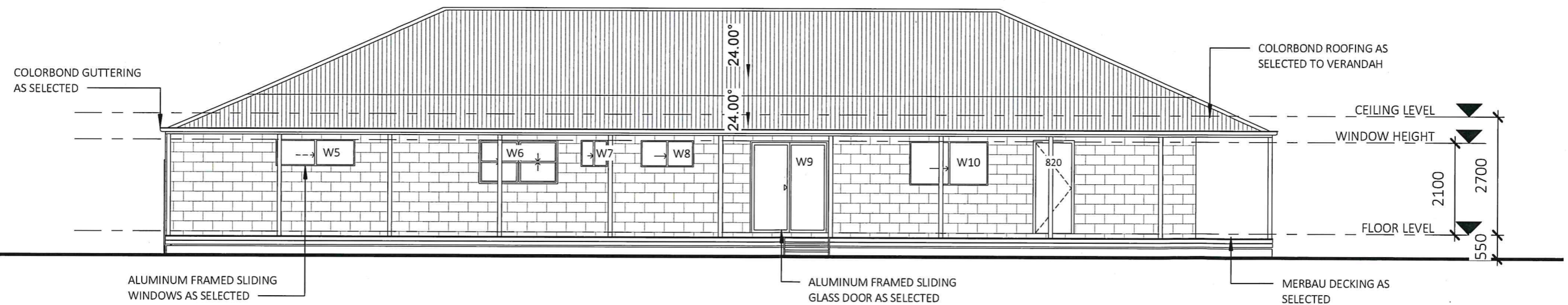
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NORTH ELEVATION

1 : 100



SOUTH ELEVATION

1 : 100



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Scale: **1 : 100** Sheet No. **4 OF 6**

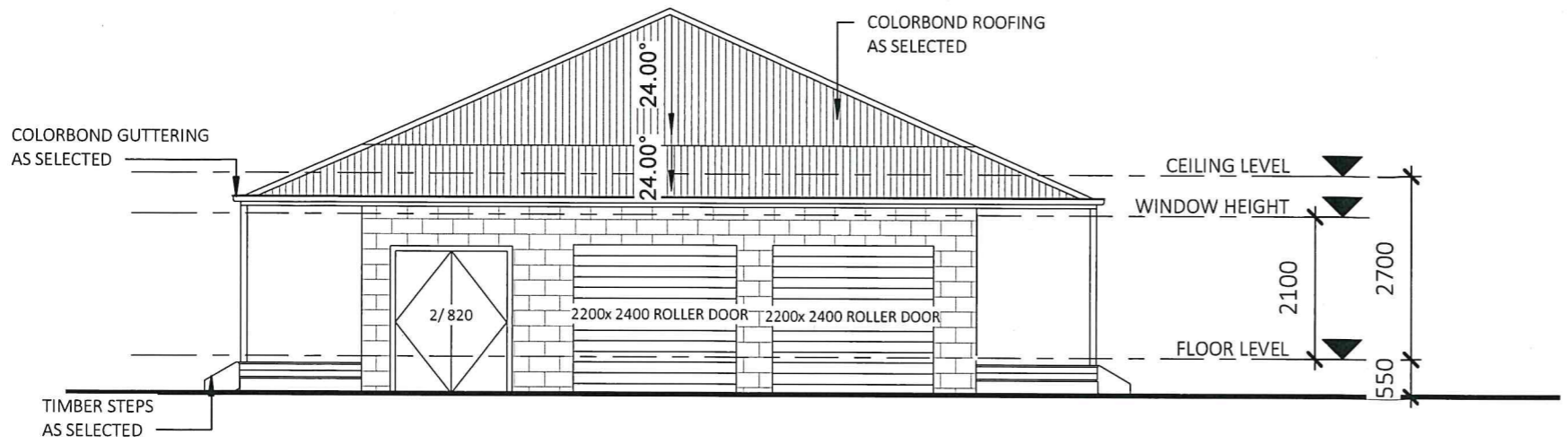
Drawn **N K** Date **OCT 2018**

Drawing title: **ELEVATIONS NORTH & SOUTH**

Client Relationship Manager Approval _____ Date _____

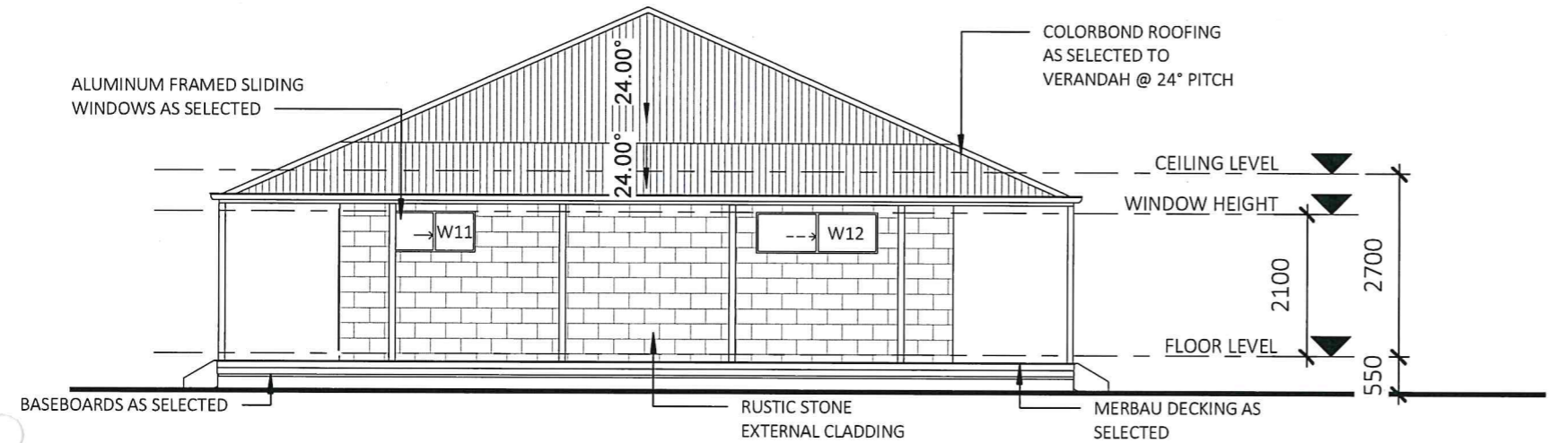
Builder Approval _____ Date _____

Client Approval _____ Date _____



WEST ELEVATION

1 : 100



EAST ELEVATION

1 : 100

WINDOW SCHEDULE						
MARK	DESCRIPTION	HEIGHT	WIDTH	TYPE COMMENTS	GLAZING	LOCATION
W1	1818	1800	1800	SLIDING WINDOW	DOUBLE CLEAR	LOUNGE
W2	1818	1800	1800	SLIDING WINDOW	DOUBLE CLEAR	BEDROOM 2
W3	1818	1800	1800	SLIDING WINDOW	DOUBLE CLEAR	BEDROOM 3
W4	0618	600	1800	SLIDING WINDOW	DOUBLE CLEAR	LINED ROOM
W5	0618	600	1800	SLIDING WINDOW	DOUBLE CLEAR	DOUBLE GARAGE
W6	1018DH	1000	1800	DOUBLE HUNG WINDOW	DOUBLE CLEAR	STUDY
W7	0606	600	600	SLIDING WINDOW	DOUBLE CLEAR	WC
W8	0612	600	1200	SLIDING WINDOW	DOUBLE CLEAR	BATH
W9	2118 SGD	2100	1800	SLIDING GLASS DOOR	DOUBLE CLEAR	MEALS
W10	1018	1000	1800	SLIDING WINDOW	DOUBLE CLEAR	KITCHEN
W11	0612	600	1200	SLIDING WINDOW	DOUBLE CLEAR	ENS
W12	0618	600	1800	SLIDING WINDOW	DOUBLE CLEAR	BEDROOM 1
W13	1818	1800	1800	SLIDING WINDOW	DOUBLE CLEAR	BEDROOM 1

WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.



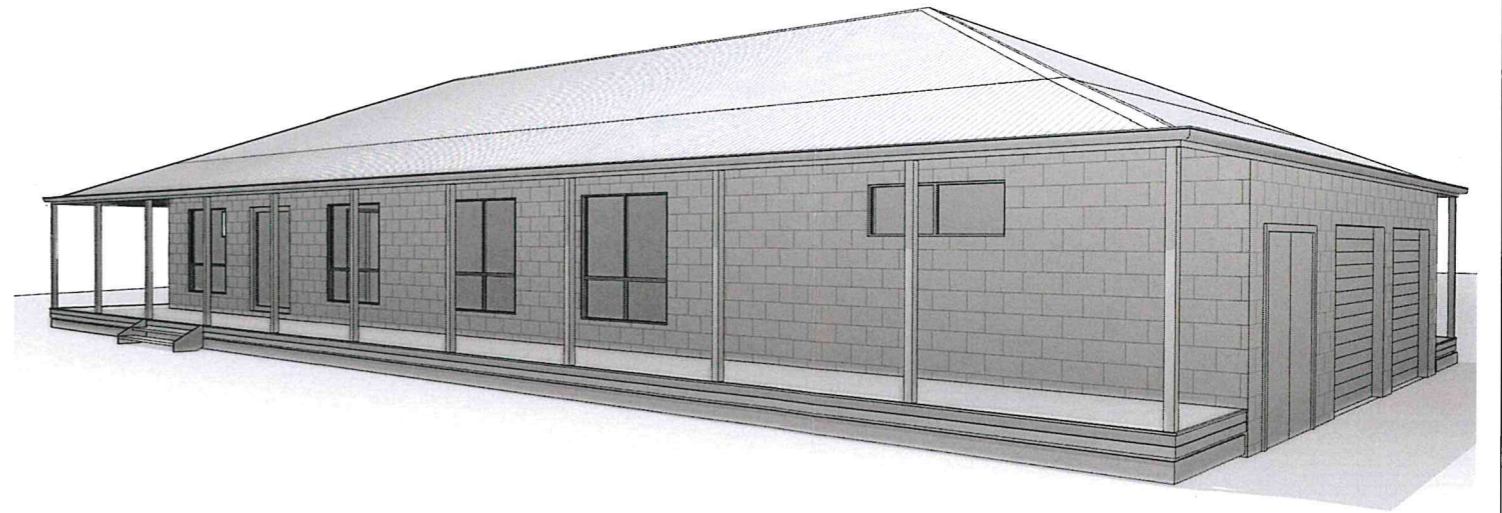
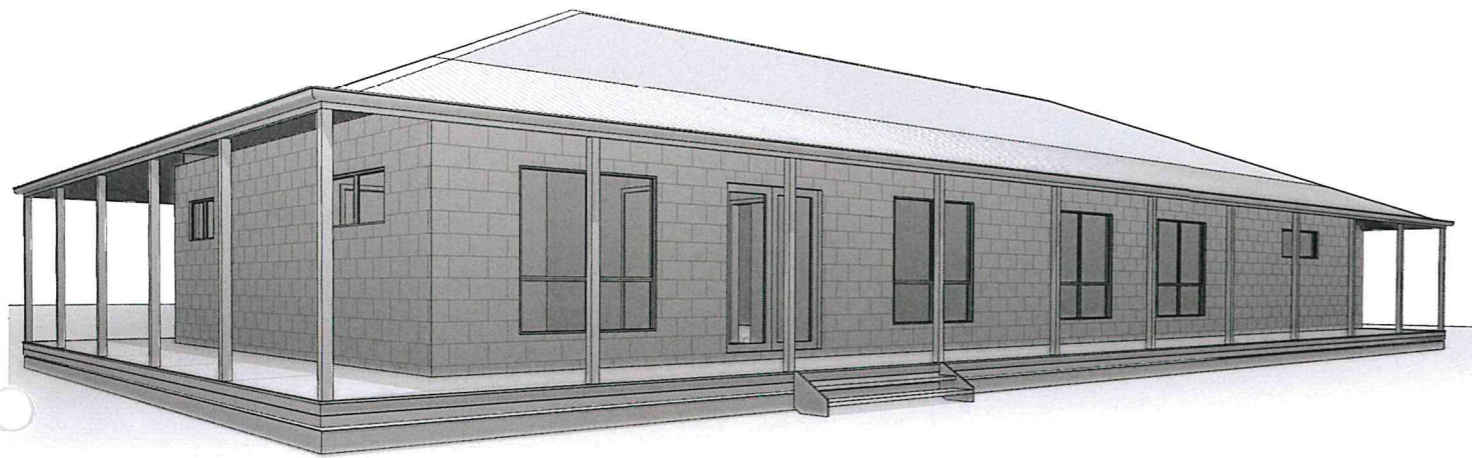
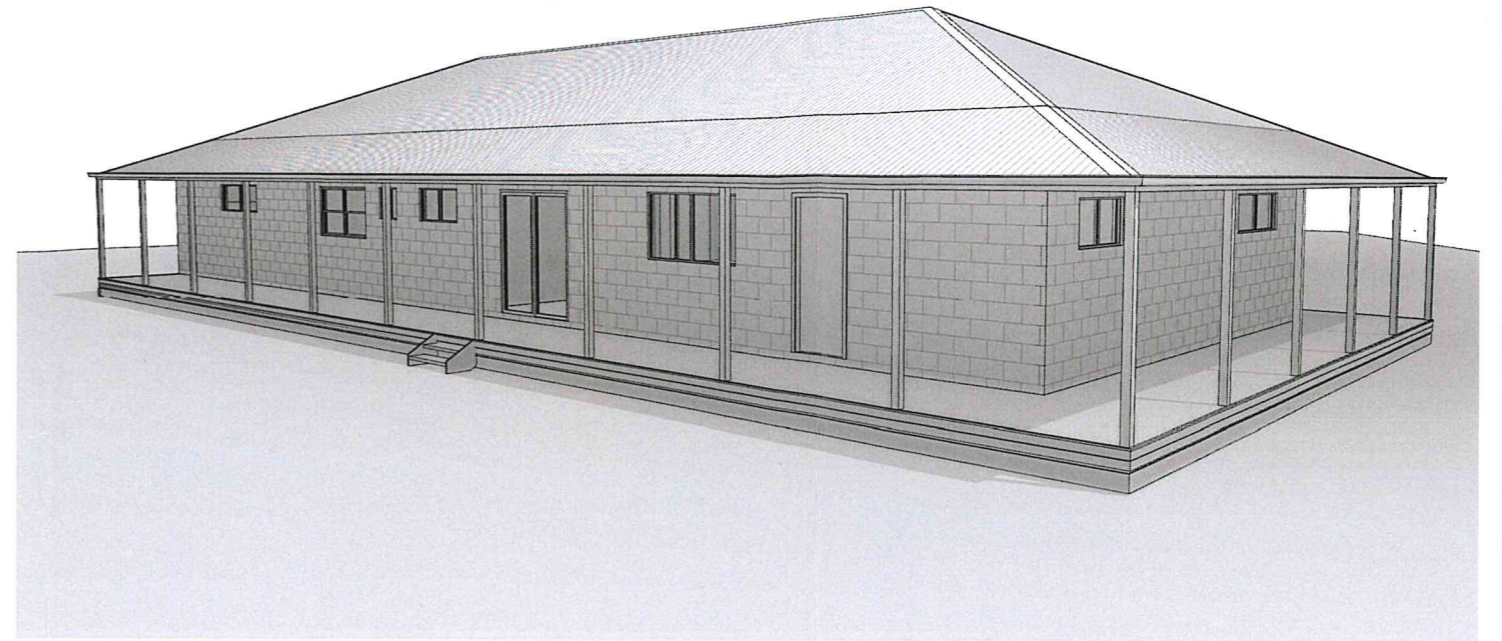
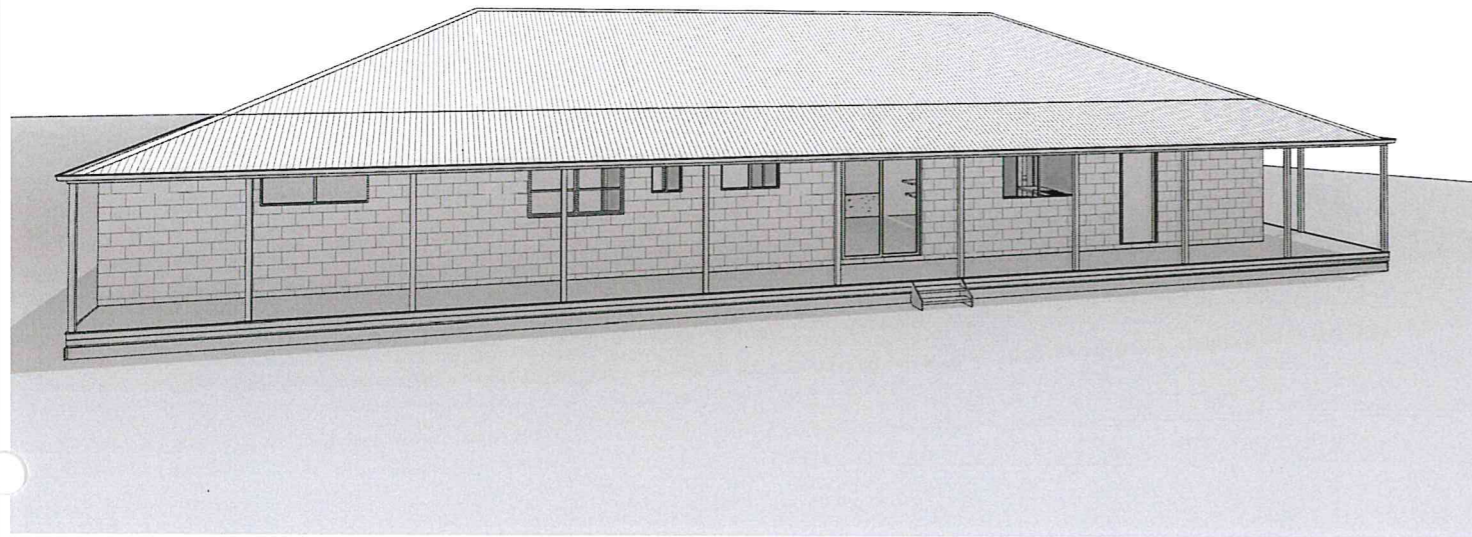
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Client: N & N SLEEP	
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Scale: 1 : 100	Sheet No. 5 OF 6
Drawn N K	Date OCT 2018

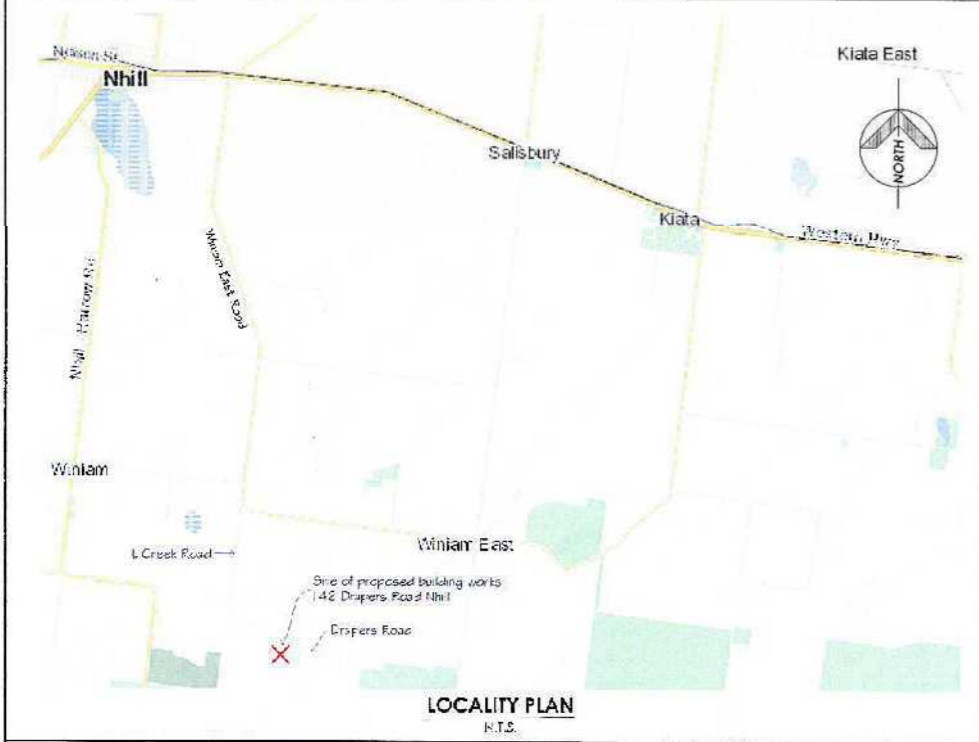
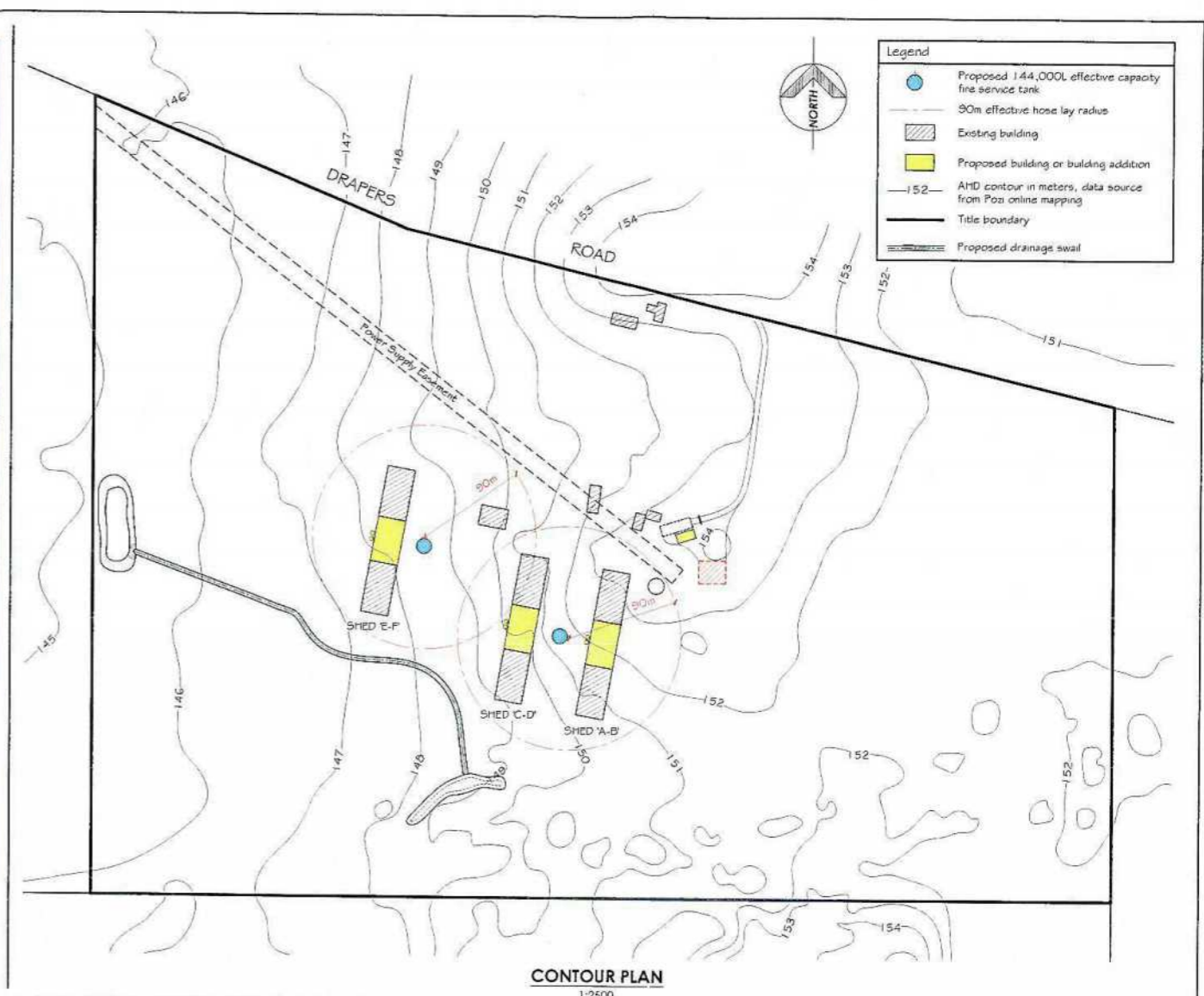
Drawing title: ELEVATIONS EAST & WEST	
Client Relationship Manager Approval	Date
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Client Approval	Date



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		DESCRIPTION	DATE	ISSUED	Client: N & N SLEEP	Client Relationship Manager Approval _____ Date _____	
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					Scale:	Sheet No. 6 OF 6	Client Approval _____ Date _____
			Drawn N K	Date OCT 2018			

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DETAILS

Drawn: Rohan Fry
Registered Practitioner: OP AD - 26583
Dwg Ref: RFD-350
Date: 22nd July 2018
Revision: E
Revision Date: 23rd September 2018
Approved on behalf of Client: Angus McCuckan

DRAWING REGISTER

Dwg No.	Description
A.01	Locality, Site & Contour plans, general notes
A.02	Proposed condition site plan
A.03	Proposed elevations & roof drainage plan shed A/B
A.04	Proposed elevations & roof drainage plan shed C/D
A.05	Proposed elevations & roof drainage plan shed E/F
A.06	Proposed office & amenities complex

PROPERTY INFO & BUILDING DETAILS

Property zone	F2 - Farm business
Wind terrain category	2
Lotment size	41.67 Ha
Existing property use	Farming (Duck Rearing)
Existing subject building use	Duck Rearing
Proposed building a-k-a-h-o-n	Duck Rearing
Proposed building class	Class 7L - FARM BUILDING
Overlays	
Due to Management Overlay (DMO)	
Area of Cultural Heritage significance	

GENERAL NOTES (NCC 2016, BCA Vol 1)

ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS 2006, THE NATIONAL CONSTRUCTION CODE SERIES 2016 BUILDING CODE OF AUSTRALIA VOLUME 1 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.

ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA. WHERE AN ALTERNATIVE SOLUTION IS PROPOSED THEN PRIOR TO IMPLEMENTATION OR INSTALLATION IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA.

ALL STORM WATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES' APPROVAL.

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL SPECIFICATIONS, RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS' DRAWINGS/DETAILS AND SPECIFICATIONS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.

ALL MEASUREMENTS ARE GIVEN IN MILLIMETERS UNLESS OTHERWISE STATED.

FIELD DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW/EXISTING STRUCTURES AND ALL ESSENTIAL SERVICES TO BE MAINTAINED THROUGH ALL WORKS.

THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THE CLIENT FOR CLARIFICATION.

INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.

THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORM WATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT LEVEL AND FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BLANKETS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, YOLKING AND UNDERMINING OF ANY BUILDING AND ITS FOUNDATION SYSTEM.

THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT OR CONTRACTOR'S DESIGNER (THE DESIGNER) FOR THE PURPOSES EXPRESSLY NOTIFIED TO THE DESIGNER. ANY USE BY ANY OTHER PERSON WHOSE USE OR RELIANCE ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND IS THE RESPONSIBILITY OF SUCH USER. THE DESIGNER IS NOT RESPONSIBLE FOR SUCH USE AND/OR RELIANCE.

THE APPROVAL BY THIS OFFICE OF A SUBMITTAL MATERIAL, WORK PRACTICE, VARIANT OR OTHER LIKE IS NOT AN AUTHORIZATION FOR ITS USE OR A CONTRACT VARIATION. ANY SUCH VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND BE APPLICABLE TO THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING THE SAID VARIATION.

ELECTRICAL SWITCHBOARDS LOCATED IN THE PATH OF TRAVEL TO EXITS TO BE ENCLOSED IN A METAL OR OTHER NON-COMBUSTIBLE CABINET WITH SUITABLE DOORS. PROVIDE A MIN 200MM DRY CHEMICAL FIRE EXTINGUISHER COMPLIANT WITH EXTINGUISHER IDENTIFICATION SIGNAGE ALL WITHIN 200MM FROM THE SWITCHBOARD.

BUILDING PERMIT ASSESSMENT NOTES:
EXISTING SHEDS USED FOR DUCK BROODING & REARING. ORIGINALLY CLASSED AS 10a FARM SHEDS THE PROPOSED BUILDING ADDITIONS WILL COMBINE THE 2 SMALLER SHED AND ENLARGE THE FLOOR AREA TO NOM 2400sqm. THEREFORE CLASS 7b 'FARM BUILDING' SHALL BE APPLICABLE. THESE SHEDS SHALL BE ASSESSED IN ACCORDANCE WITH NCC VOL 1 PART H3. IN ACCORDANCE WITH 2/33 THE PROPOSED BUILDING ADDITION REPRESENTS < HALF THE ORIGINAL BUILDING VOLUME THEREFORE REQUEST EXISTING SHEDS NEED NOT FULLY COMPLY WITH CURRENT BUILDING REGULATIONS IN TERMS OF REQUIRED AMENITIES. THE PROPOSED BUILDING ADDITIONS & EXISTING SHEDS SHALL COMPLY WITH CURRENT BUILDING REGULATIONS IN TERMS OF FIRE PROTECTION EQUIPMENT, CONSTRUCTION OF REQUIRED EXITS & TRAVEL DISTANCE TO REQUIRED EXITS. REQUEST CONSENT AND REPORT FOR EXISTING ON-SITE AMENITIES TO BE RETAINED UNCHANGED AS THESE ARE APPROPRIATE FOR THE USE & FUNCTION OF THE FARMING ACTIVITIES.

PERSONAL LOADINGS - MAXIMUM PERSONS PER FARM BUILDING:
MALE EMPLOYEES, CONTRACTORS OR FAMILY MEMBERS: 4
FEMALE EMPLOYEES, CONTRACTORS OR FAMILY MEMBERS: 4

AUT AUTHORITIES LIST:
MUNICIPALITY: HINDMARSH SHIRE COUNCIL
SEWERAGE AUTHORITY: HINDMARSH SHIRE COUNCIL
DRAINAGE AUTHORITY: HINDMARSH SHIRE COUNCIL
RELEVANT BUILDING SURVEYOR: TEC
RELEVANT FIRE AUTHORITY: REGION 17 CFA
RELEVANT ELECTRICAL SUPPLY AUTHORITY: POWERCOR

PLANNING PERMIT BUILDING & WORKS:
PLANNING PERMIT NO - TEC
ISSUE DATE: TEC
SUBJECT TO ALLOW FOR ALL WORKS TO COMPLY AND INCLUDE ALL REQUIRED CONDITIONS IN ACCORDANCE WITH THE PLANNING PERMIT AND SHALL BE RESPONSIBLE THAT ALL PLANNING CONDITIONS ARE MET AT THE COMPLETION OF WORKS.

PROJECT CONSULTANTS LIST:
CONSULTING STRUCTURAL ENGINEER: TEC
CONSULTING CIVIL ENGINEER: TEC
CONSULTING GEOTECHNICAL ENGINEER: TEC
CONSULTING ENERGY ASSESSOR: MA

SITE GEOTECHNICAL INVESTIGATION:
REFER TO GEOTECHNICAL INVESTIGATION REPORT NO: TEC
BY: TEC

ARCHITECTURAL PLANS ONLY FOR THE PURPOSE OF PLANNING DISCUSSIONS.
THESE PLANS ARE PRELIMINARY AND NOT TO BE CONSIDERED FOR CONSTRUCTION. THE BUILDER/STRUCTURAL ENGINEER SHALL CONSULT WITH THE CLIENT AND THE SURVEYOR. THE STEEL FABRICATOR SHALL CONSULT WITH THE ENGINEER FOR ENGINEER REVIEW & APPROVAL PRIOR TO FABRICATION.

Gramplans i-design
ALN 20 002 004
P.O. Box 671 Stawell Victoria 3360
Ph: 03 5356 6159 Fax: 03 5356 6156
E-mail: gramplans@design@bcpcorp.com

REGISTERED
Building Practitioner
MBAV

NOTES

REV	NO	DESCRIPTION	DATE	CLIENT
A	1	PRELIMINARY	22-07-18	LJ & SUE, PT LTD
B	1	FOR PLANNING DISCUSSION	22-07-18	LSU RFD-350 RFD-350
C	1	TO ACCOMPANY PLANNING APPLICATION	20-08-18	PT LTD
D	1	PROPOSED OFFICE/AMENITIES COMPLEX	12-09-18	
E	1	FINAL PROPOSED SHEDS	06-10-18	

PRELIMINARY
NOT FOR CONSTRUCTION

DRAWING NO	DATE	SCALE
RFD-350	22/07/18	AS SHOWN

DRAWING NAME	SHEET	NO	REV	APPROVED
SITE PLAN	01	01	1	



ARCHITECTURAL PLANS ONLY FOR THE PURPOSE OF PLANNING DISCUSSIONS.
 BUILDING PLANS AND STRUCTURAL PLANS TO BE COMPLETED BY OTHER
 PROFESSIONALS AS REQUIRED. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE SUPERVISION OF A REGISTERED ARCHITECT OR ENGINEER.
 FABRICATION.

PROPOSED CONDITION SITE PLAN
 1:500

PRELIMINARY
 NOT FOR CONSTRUCTION

REV. NO.	DESCRIPTION	DATE	CHECKED	DRAWING NO.	DATE	SCALE
A	PRELIMINARY	22-07-18		K18-055	22-07-18	AS SHOWN
B	FOR PLANNING DISCUSSION	25-07-18				
C	TO ACCOMPANY PLANNING APPLICATION	16-08-18				
D	EXISTING OFFICE BUILDING DEMOLISHED	15-09-18				
E	IFUGHT PROPOSED SLOPE	0-10-18				

Grampians i-design
 ACAI 120 602 602
 P.O. Box 671 Straxwell, Victoria 3360.
 Ph 03 5356 6159 Fax 03 5356 6156
 E-mail grampianside@bigpond.com

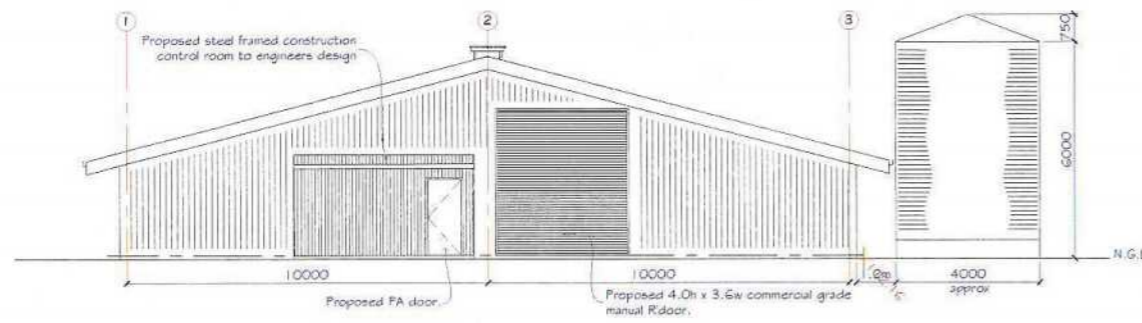
REGISTERED
 Building Practitioner
MBAV
 Building Practitioner

NOTES

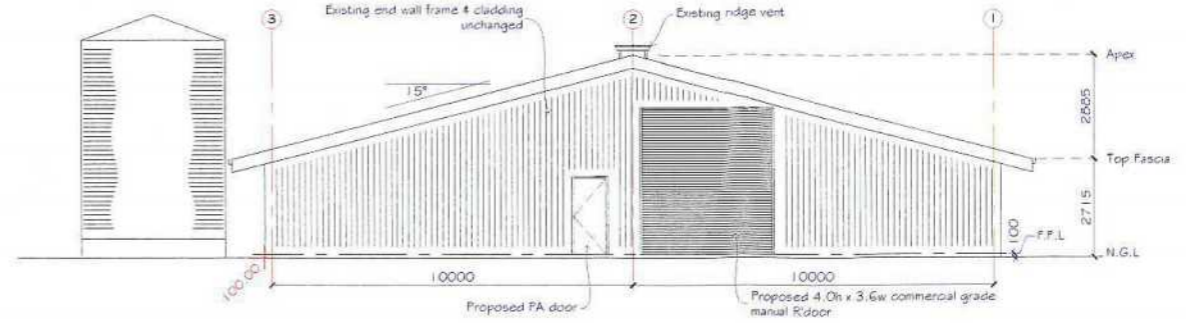
1. Install 75mm Rsp Rap to discharge point into proposed swall drain, extend pipework as necessary.

2. Existing Discharge Area

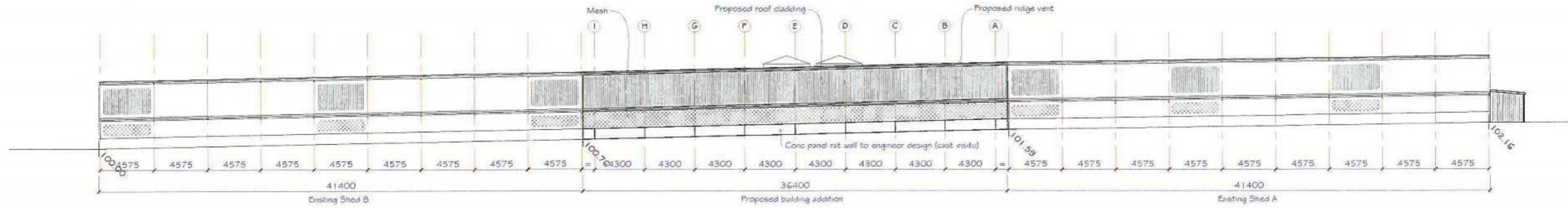
3. Existing SW discharge point shed AD



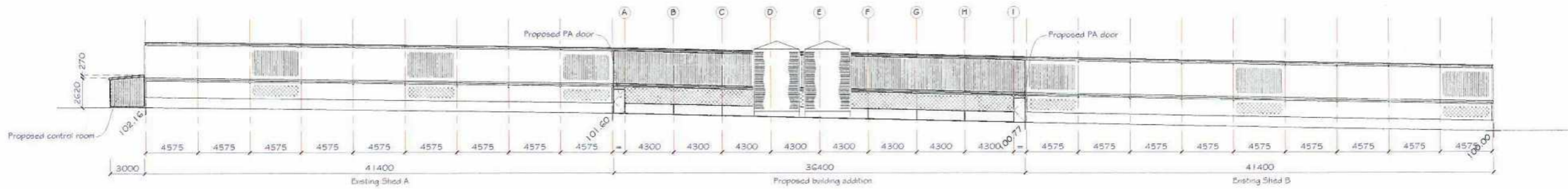
SHED 'AB' - NORTH ELEVATION
1:100



SHED 'AB' - SOUTH ELEVATION
1:100



SHED 'AB' - EAST ELEVATION
1:200



SHED 'AB' - WEST ELEVATION
1:200

COLORS, FINISHES & MATERIAL PROFILE SCHEDULE			
ITEM	PROFILE / FINISH / MATERIAL *THICKNESS (mm)	COLOUR	NOTES
ROOF CLADDING	ECONO CLAD	ZINC	
WALL CLADDING	DUALCO AD NORTH END (SOUTH END AS FASCIAS)	CAULFIELD GREEN	
ROLLER DOOR CLADDING	UNKNOWN	CAULFIELD GREEN	
PA DOOR CLADDING	COLORBOND	CAULFIELD GREEN	
RISE CAP	DUALCO AD	ZINC	
CORNER FLASHINGS	UNKNOWN	CAULFIELD GREEN	
BARGE CAPS	COLORBOND	CAULFIELD GREEN	
FASCIA GUTTER	FASCIA	ZINC	
DAED PANEL	CONCRETE	GREY	
MESH	GALVANISED	GALVANISED	
BLINDS	CANNACOM	CAULFIELD GREEN	
FINISHES PHOTO BLINDS	ZINCALUME	ZINC	
FINISHES PHOTO WALL CLADDING	DUALCO AD	ZINC	
FIBER SLODS	ZINCALUME	ZINC	3000 x 4000 x 100mm HIGH

ARCHITECTURAL PLANS ONLY FOR THE PURPOSE OF PLANNING DISCUSSIONS.
BUILDING PERMITS, BASIS PLANS & STRUCTURAL PLANS TO BE COMPLETED BY OTHERS.
THE BUILDER SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COUNCIL.
THESE PLANS SHALL BE VALID FOR 12 MONTHS FROM THE DATE OF ISSUANCE.

Grampians i-design
P.O. Box 671 Stawell, Victoria 3380.
Ph: 03 5356 6159 Fax: 03 5356 6156
E-mail: grampiansi@design@iayond.com

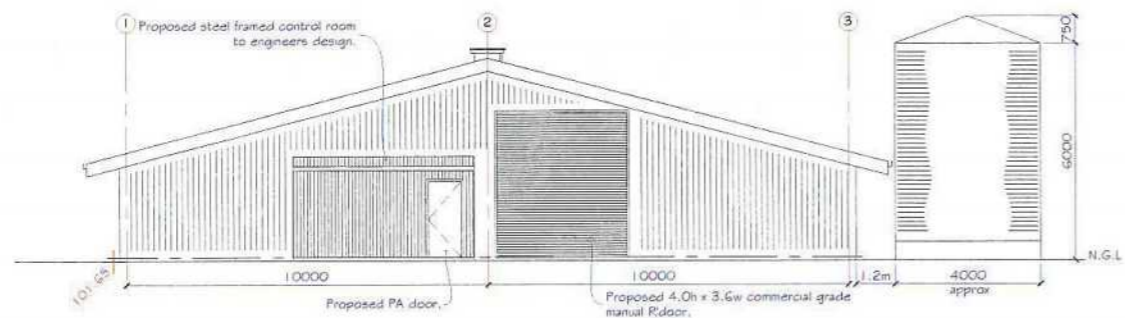
REGISTERED
bdcv
MBAV

NOTES:

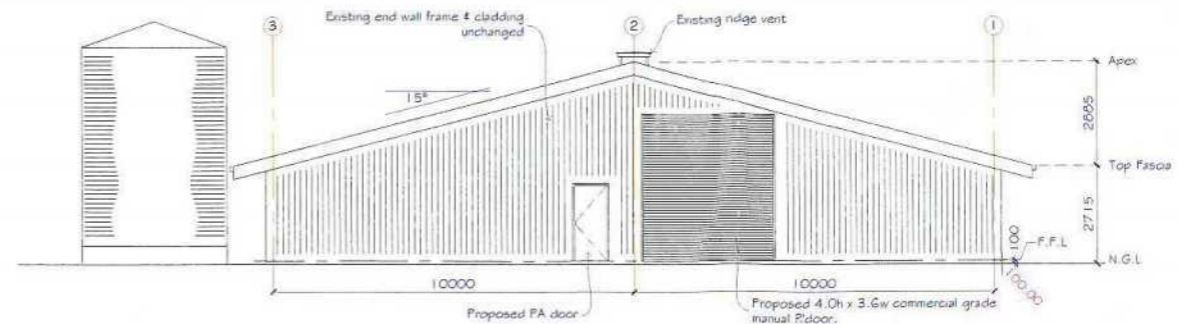
PRELIMINARY
NOT FOR CONSTRUCTION

REV NO	DESCRIPTION	DATE	BY	CHKD	DATE	SCALE
A	PRELIMINARY	22-07-15				
B	FOR PLANNING APPLICATION	25-07-15				
C	FOR PLANNING APPLICATION	12-08-15				
D	COLORS & FINISHES COORDINATION	23-08-15				
E	SHED ADDITIONAL FINISHES NOTES	23-08-15				

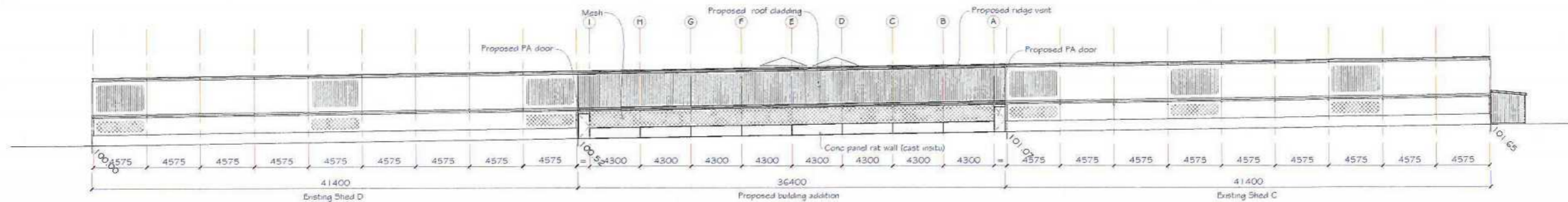
DRAWING NO:	RND 350	DATE:	22-07-2015	SCALE:	AS SHOWN
DRAWN BY:	PHILIP FRY	CHECKED BY:	PHILIP FRY	APPROVED BY:	PHILIP FRY



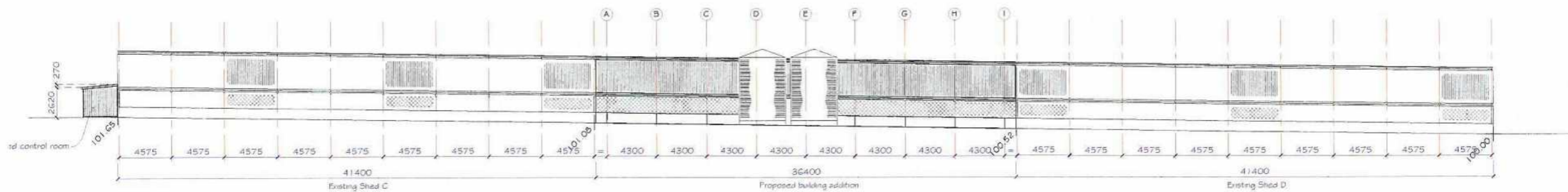
SHED 'CD' - NORTH ELEVATION
1:100



SHED 'CD' - SOUTH ELEVATION
1:100



SHED 'CD' - EAST ELEVATION
1:200



SHED 'CD' - WEST ELEVATION
1:200

COLORS, FINISHES & MATERIAL PROFILE SCHEDULE

ITEM	PROFILE / FINISH / MATERIAL THICKNESS (mm)	COLOUR	NOTES
ROOF CLADDING	500x1250 CLAD	ZINC	
WALL CLADDING	300x1250 CLAD (900mm END AS EXISTING)	CALUMFIELD GREEN	
PA DOOR CLADDING	COLOBOOND	CALUMFIELD GREEN	
ROOF CAP	DUALCLAD	ZINC	
CEILING HANGERS	COLOBOOND	CALUMFIELD GREEN	
BARGE CAPPING	COLOBOOND	CALUMFIELD GREEN	
FASCIA GUTTER	FRASIA	ZINC	
WALK PANEL	CONCRETE	GREY	
MESH	GALVANIZED	GALVANIZED	
DLKOS	CALUMFIELD	CALUMFIELD GREEN	
FLASHINGS ABOVE EUNGS	ZINCALUME	ZINC	
EXISTING SOUTH WALL CLADDING	DUALCLAD	ZINC	
FLED SLOOS	ZINCALUME	ZINC	NOM 7.0m DIAMETER X 0.75m HIGH

ARCHITECTURAL PLANS ONLY FOR THE PURPOSE OF PLANNING DISCUSSIONS.
THE BUILDER / STRUCTURAL ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COUNCIL AND RELEVANT AGENCIES.
FABRICATOR SHALL COMPLETE SHOP DRAWINGS FOR ENGINEER REVIEW & APPROVAL PRIOR TO FABRICATION.

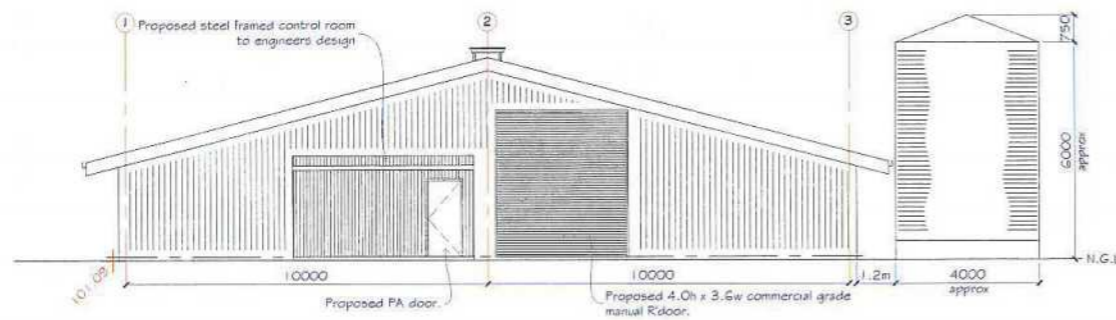
Grampians i-design
120 Box 671 Snowell, Victoria 3380.
Ph: 03 5326 6759 Fax: 03 5326 6156
E-mail: grampiansdesign@iapp.com.au

REGISTERED Building Practitioner
MBAV

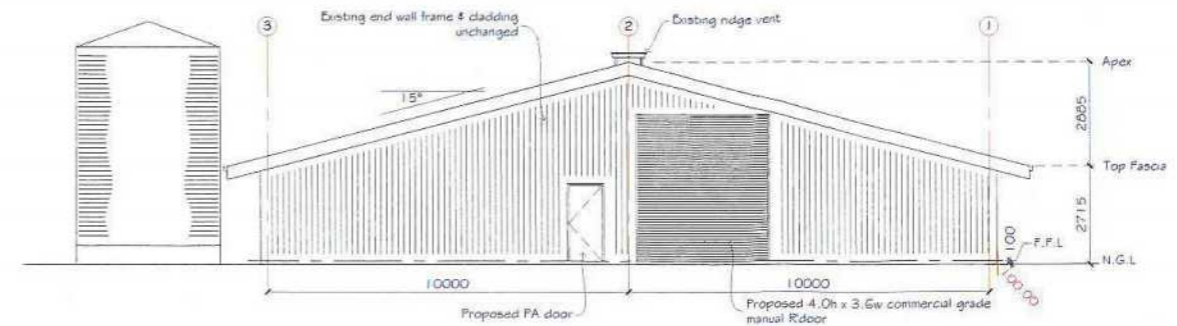
NOTE:

PRELIMINARY
NOT FOR CONSTRUCTION

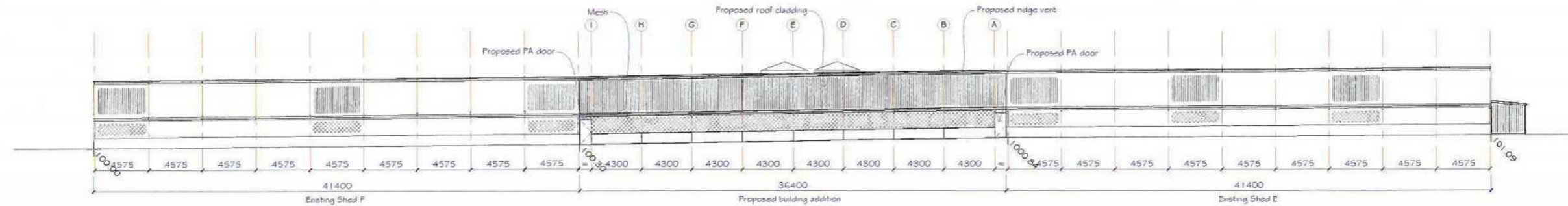
REV. NO.	DESCRIPTION	DATE	CLIENT	DRAWING NO.	DATE	SCALE
1	PRELIMINARY	22.07.18	LUNA JACK PTY LTD	1803-358	22.07.18	AS SHOWN
2	FOR PLANNING DISCUSSION	25.07.18	140 RITTS ROAD, HILL VICT 3112			
3	TO ACCOMPANY PLANNING APPLICATION	10.08.18				
4	COLOR & FINISHES COORDINATION	25.08.18				
5	SHED, PLANNING, PRELIMINARY	08.10.18				



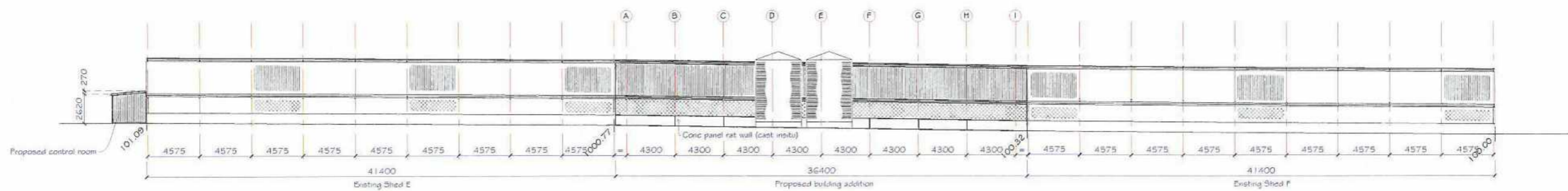
SHED 'EF' - NORTH ELEVATION
1:100



SHED 'EF' - SOUTH ELEVATION
1:100



SHED 'EF' - EAST ELEVATION
1:200



SHED 'EF' - WEST ELEVATION
1:200

COLORS, FINISHES & MATERIAL PROFILE SCHEDULE			
ITEM	PROFILE / FINISH / MATERIAL THICKNESS (b/m)	COLOUR	NOTES
ROOF CLADDING	50000 CLAD	ZINC	
WALL CLADDING	30000 ALL HEIGHT (N & SOUTH END AS EXISTING)	CALIFIELD GREEN	
ROLLER DOOR CLADDING	30000	CALIFIELD GREEN	
PA DOOR CLADDING	30000	CALIFIELD GREEN	
RIDGE CAP	DUAL CLAD	ZINC	
EAVE FLASHINGS	30000	CALIFIELD GREEN	
EAVE CAPPING	30000	CALIFIELD GREEN	
FASCIA GUTTER	PAN/DE	ZINC	
UP TO TRAIL	CONCRETE	GRAY	
MESH	GALVANIZED	GALVANIZED	
BUNDS	GALVANIZED	CALIFIELD GREEN	
FLASHINGS ABOVE BUNDS	ZINCALUME	ZINC	
EXISTING SOUTH WALL CLADDING	DUAL CLAD	ZINC	
FLOOR SILCS	ZINCALUME	ZINC	NOV 4.0m DIAMETER X 6.75m HIGH

ARCHITECTURAL PLANS ONLY FOR THE PURPOSE OF PLANNING DISCUSSIONS.
 BUILDING PERMIT BLUE PLANS & STRUCTURAL PLANS TO BE COMPLETED BY OTHERS.
 THE BUILDER SHALL CONDUCT THEIR OWN SITE MEASUREMENTS & SURVEY. THE BUILDER SHALL OBTAIN ALL NECESSARY PERMITS & APPROVALS FROM THE LOCAL COUNCIL.
 FABRICATOR SHALL OBTAIN ALL NECESSARY PERMITS & APPROVALS FROM THE LOCAL COUNCIL.

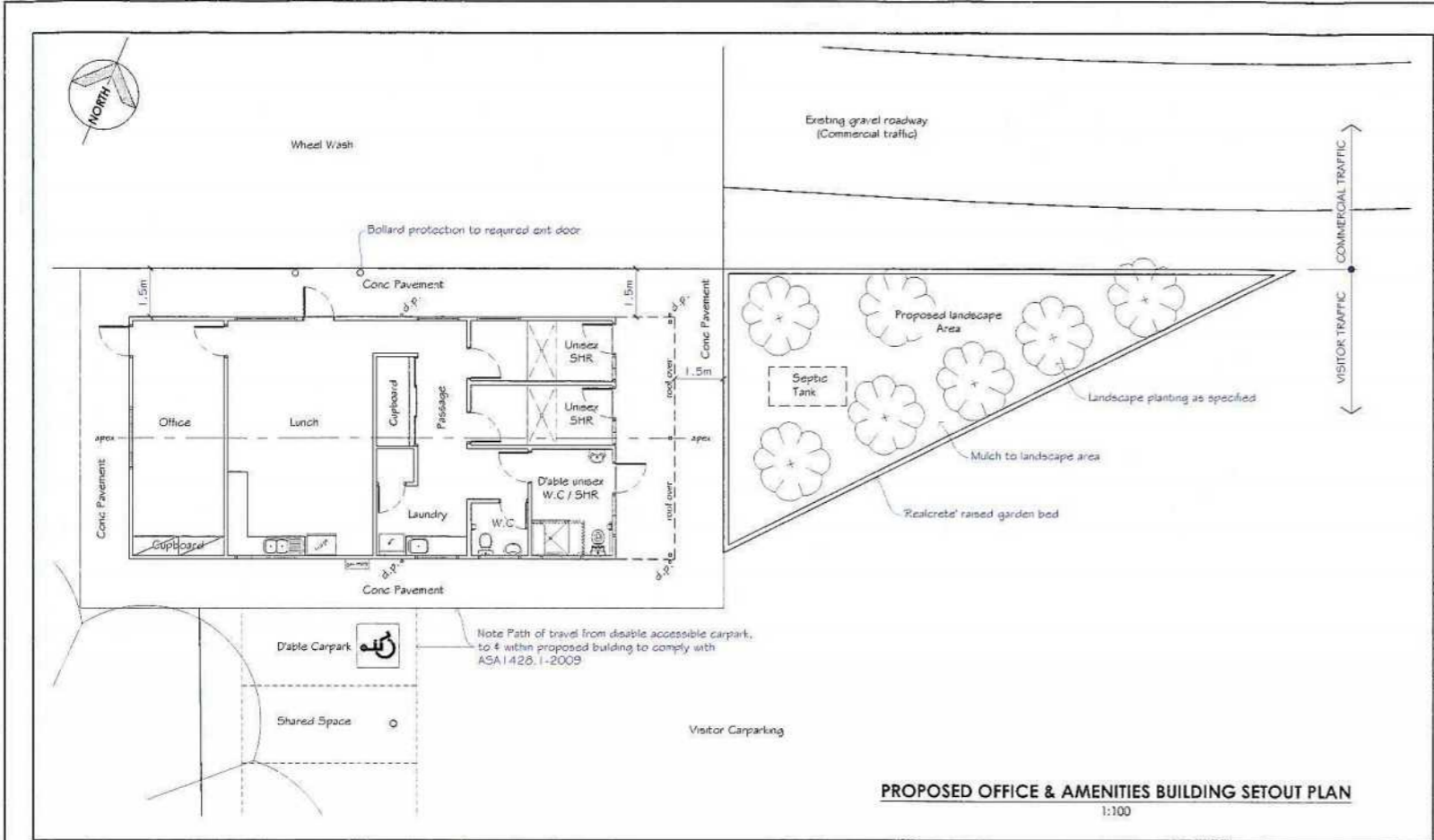
Gramplans i-design
 P.O. Box 677 Stowell, Victoria 3380.
 Ph: 03 5356 6759 Fax: 03 5356 6756
 E-mail: gramplans@i-design.com.au

REGISTERED
Building Practitioner
MBAV

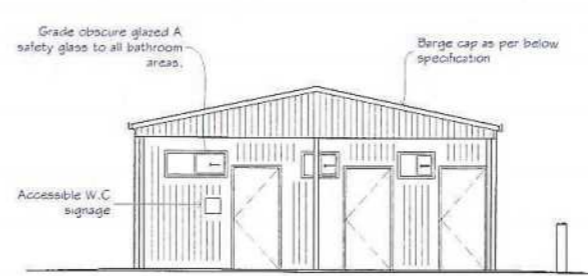
NOTES:

PRELIMINARY
 NOT FOR CONSTRUCTION

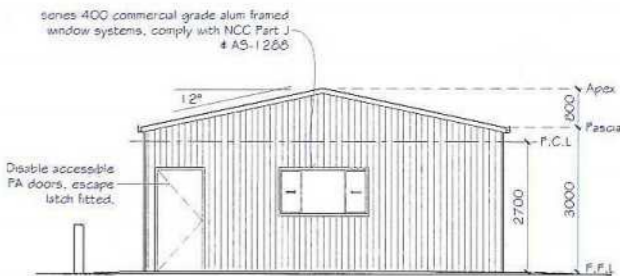
REV NO	DESCRIPTION	DATE	DRAWN	CHECKED	DATE	SCALE
A	PRELIMINARY	22-07-12				AS SHOWN
B	FOR PLANNING DISCUSSION	25-07-12				
C	TO ACCOMPANY TENDER APPLICATION	10-08-12				
D	COLORS & FINISHES CONTRIBUTION	21-08-12				
E	SILCS, MULTIDIRECTIONAL FINISHES NOTES	2-10-12				



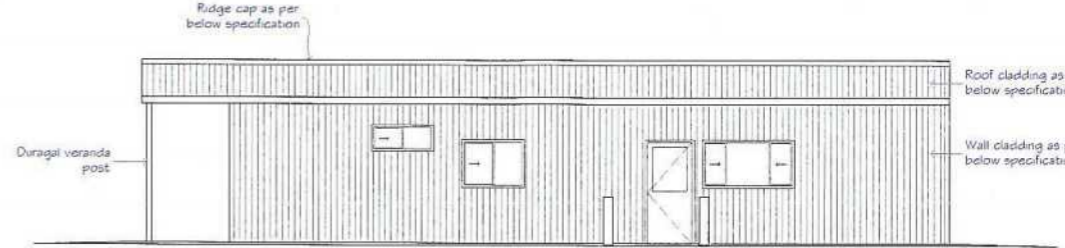
PROPOSED OFFICE & AMENITIES BUILDING SETOUT PLAN
1:100



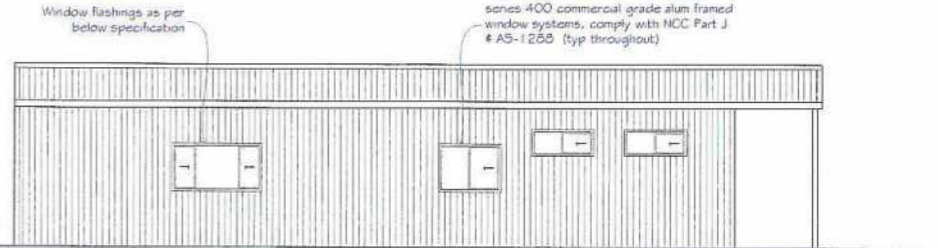
EAST ELEVATION
1:75



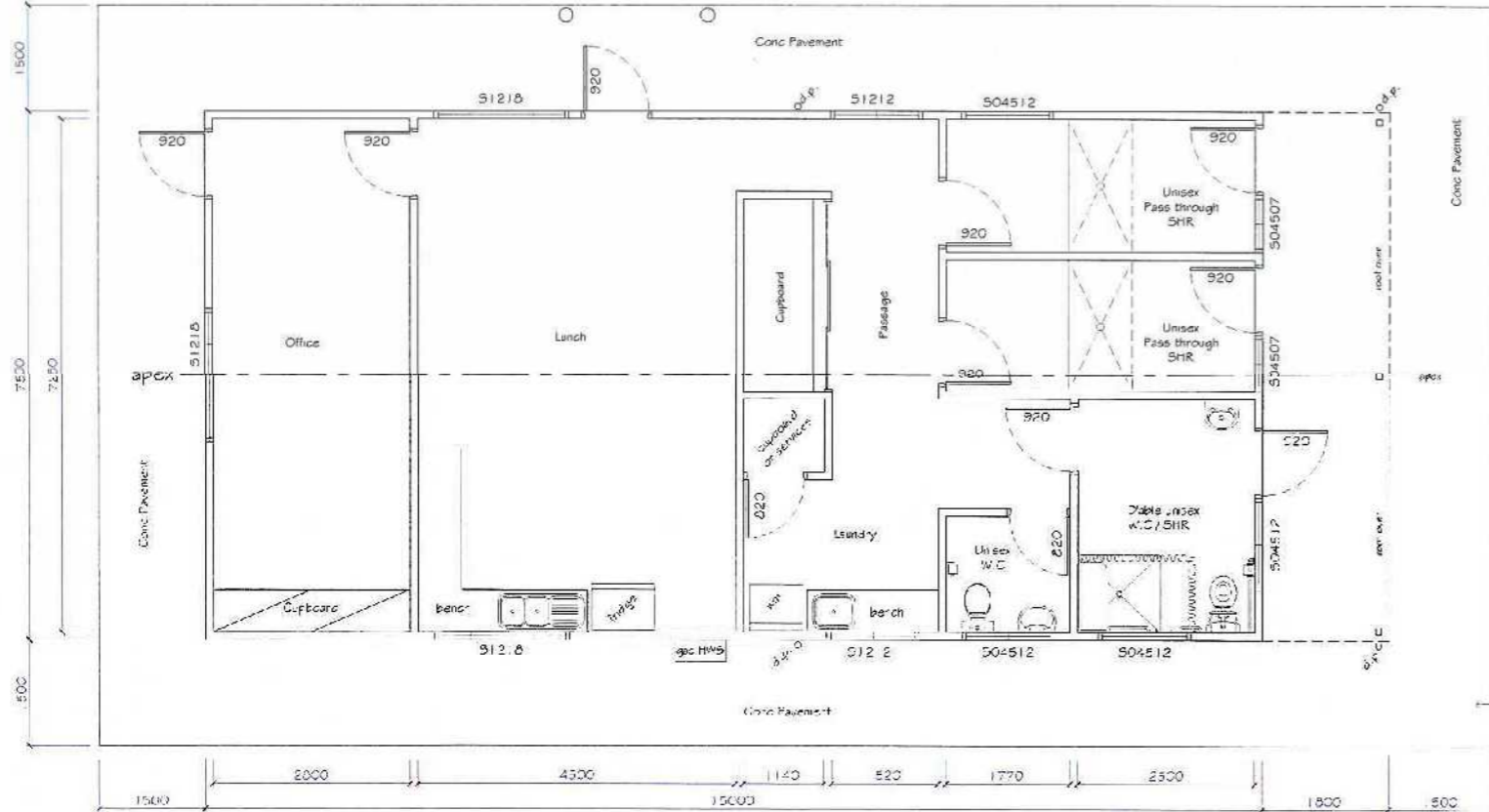
WEST ELEVATION
1:75



NORTH ELEVATION
1:75



SOUTH ELEVATION
1:75



PROPOSED OFFICE & AMENITIES BUILDING SETOUT PLAN
1:100

COLORS, FINISHES & MATERIAL PROFILE SCHEDULE			
ITEM	PROFILE / FINISH / MATERIAL THICKNESS (mm)	COLOR	NOTES
ROOF CLADDING	DUAL CLAD	ZINC	
WALL CLADDING	DUAL CLAD	CALFIELD GREEN	
EXTERNAL DOOR CLADDING	COLOREBOND	CALFIELD GREEN	
RIDGE CAP	PINK	ZINC	
CORNER FLASHINGS	COLOREBOND	CALFIELD GREEN	
ROOF GAPPINGS	COLOREBOND	CALFIELD GREEN	
DOOR & WINDOW FLASHINGS	COLOREBOND	CALFIELD GREEN	
FASCIA/GUTTER	PINK	CALFIELD GREEN	
WALL PANEL	CONCRETE	GREY	
VERANDA POSTS	DURAGAL	GALVANISED	
WINDOWS	ALUMINUM	ARCHITECT J	

ARCHITECTURAL PLANS ONLY FOR THE PURPOSE OF PLANNING DISCUSSIONS.
 RULES FOR BLUE PLANS & STRUCT. PLANS TO BE COMPLIED BY OTHERS.
 THE USER/STRUCTURAL DESIGNER SHALL CONDUCT THEIR OWN MEASUREMENTS & CHECKS.
 THE ARCHITECT SHALL BE RESPONSIBLE FOR ANY NECESSARY REVISIONS & APPROVALS.
 THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION.

Grampians i-design
 P.O. Box 677 Shawell, Victoria 3380.
 Ph: 03 5366 6789 Fax: 03 5366 6786
 E-mail: grampiansi@bigpond.com

REGISTERED
 bda
 MBAA

PRELIMINARY
 NOT FOR CONSTRUCTION

REV NO.	DESCRIPTION	DATE	DRAWN BY	CHECKED BY	DATE	SCALE
A	REV LIBRARY	22.07.15	JAN D. GUYA ETY LTD		22.07.2015	SCALE TO DRAWING
B	FOR PLANNING DISCUSSION	25.07.15				
C	TO ACCOMMODATE PLANNING DISCUSSION	13.9.15				
D	MINOR TYPING & CORRECTIONS AS REQUESTED	18.9.15				
E	CONTRAST COLOURS & FINISHES	23.9.15				

DRAWING NO. RTD-015	DATE 22/07/2015	SCALE AS SHOWN
DRAWING NAME PROPOSED OFFICE & AMENITIES BUILDING	DRAWN BY JAN D. GUYA	CHECKED BY JAN D. GUYA
PROJECT MULLUMBUMBY DUCK SHED BUILDING ALTERATIONS & ADDITION	LOCATION 47 GRAMPINS ROAD, MULLUMBUMBY VIC 3461	DATE 22/07/2015
SCALE A1	SHEET 4 OF 4	REV 5

Andre Dalton

From: <email address deleted >>
Sent: Sunday, 25 November 2018 10:04 PM
To: Info
Subject: Amendment to Planning Permit No 39-1999

Follow Up Flag: Follow up
Flag Status: Flagged

Categories: Lauren

Re: Amendment to Planning Permit No 39-19999

Land affected by this amendment
Lot 1PS 432916, 142 Drapers Rd. NHILL

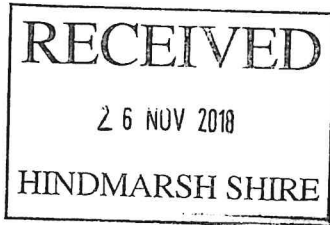
Attention: Andre Dalton

We, Wesley Ian and Rosslyn Leith Dean, wish to lodge an objection to the above application on the following grounds:-

- . The doubling of production at Mt Lee will necessitate a large increase in traffic both in and out on Drapers Rd. This being gravel it will deteriorate very quickly.
- . This doubling of duck production will also result in a large increase of ducks at the G Dahlenburg Rd (Mt. Gert) site also. This will result in a large increase in traffic both in and out of this site also.
- . This increase in volume of traffic will increase the risk of an accident with the large farm machinery and stock being moved along these roads.

It is disappointing that we were unable to obtain a copy of the planning permit so that we have time to properly assess the consequences of this permit.

Yours Sincerely, Wes and Leith Dean.



ASSESS #	
ACTION	CPD
INFO	
X REF	

⟨ deleted ⟩

Nhill 3418

Ph: ⟨ deleted ⟩

Email: ⟨ deleted ⟩

26th November 2018

Planning Department
Hindmarsh Shire Council
PO Box 250
Nhill 3418

Dear Andre,

I am writing to you regarding the planning permit application for Lot 1 PS432916, 142 Drapers Road Nhill. Reference number 39-1999

I am objecting to this planning permit application for the following reasons

Objection 1. Amending condition 6 to allow 24000 ducks.

Reason for objection

- Increased traffic
 - o The roads at Winiam/Winiam East are in poor shape, and are not equipped for large numbers of traffic, particularly large trucks. The edges of the roads are breaking away or are too soft to move off the road onto. With the increase in traffic that will occur as a result of an expansion of Mt Lee duck farm the condition of the roads will further deteriorate which will make driving unsafe for both residents and tourists. The lack of suitability of the Winiam/Winiam East road has already previously been acknowledged by the Hindmarsh Shire when they erected 'no truck signs'
 - As well as the edges of the roads being unsafe, the roads are also narrow, which makes it dangerous when meeting oncoming traffic. While local residents may know to be aware of Luv a Duck trucks driving too fast over the hills, tourists will not be aware of the same dangers. The increase in Luv a Duck's traffic also affects us by impeaching our ability to move stock and machinery safely around the area.
- Increased noise
 - o We can already at times hear Luv a Ducks operations at Mt Lee from our house, this noise pollution will only increase with an expansion. There is also the increase in road noise past our house. I'm also concerned that the extra noise will affect the wildlife both in our scrub block and the neighbouring Little Desert Lodge. While recently participating in the Rewilding Project, Luv a Ducks operation noise was

very evident and I feel that it also has the potential to affect tourism negatively.

- Increased odour
 - o With the increase in the number of birds there will be an increase in odour, this will affect us by stinking up our property, and also has the potential to affect the Little Desert Lodge.

Objection 2. Amending the preamble to 'Use and Construction of Poultry Farm (Duck Farm)'

Reason for objection

- The preamble does not define what type of duck farm Mt Lee will be post expansion, this use of broad language gives Luv a Duck too much freedom in the future. Mt Lee is either a developer farm or a breeder farm, it is important that this is defined as the different types of poultry farms (duck farms), require different environmental waste management plans, and have different amounts of inputs thus affecting surrounding areas differently.

Objection 3. Inserting secondary consent provision

Reason for objection

- The reason Luv a Duck are asking for secondary consent is not clear.
- Luv a Duck is a large company with a high turnover of staff, the Hindmarsh Shire also has a high turnover of staff. I fear that secondary consent coupled with this constant swapping of staff will result in futures decisions being made without the appropriate knowledge, local history and information.

Please note a request was made for copies of the documents associated with this application, and that I am very disappointed that council have not provided me with a copy and instead informed me that I am only allowed to view the documents at the Shire office. The large number of pages made it virtually impossible to fully read, comprehend and complete a thorough objection.

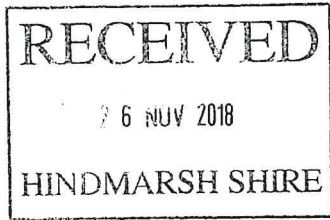
I now request a full copy of documents associated with this application in order to determine my future position, whether that is additional grounds for objection or withdrawal of my objection.

Due to council's unwillingness to allow me the opportunity to comfortably view the documents I request that a time extension be granted so that I may fully view and study the documents before any decisions are made about this planning permit application.

Yours sincerely



Marlene Dahlenburg



ASSESS #	
ACTION	CPD
INFO	
X REF	

<< address deleted >>

Nhill 3418

Phone: << deleted >>

Email: << deleted >>

25th November 2018

Mr. Andre Dalton
Hindmarsh Shire Council
92 Nelson Street
Nhill 3418

To Andre,

I'm writing to object to Luv a Ducks planned expansion of their Mt Lee site at Winiam East. (Planning permit application for Lot 1 PS432916, 142 Drapers Rd Nhill. Reference number 39-1999)

The roads at Winiam and Winiam East, including Drapers Rd cannot cope with an increase in large traffic. The edges are already deteriorating and breaking away, and Drapers road is full of pot holes. None of the roads are wide enough for vehicles to safely pass oncoming traffic.

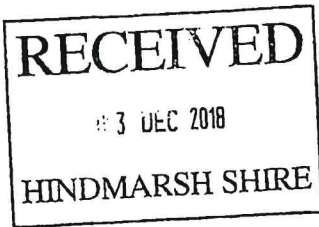
I have already had issues with Luv a Duck trucks driving through my stock when shifting them, resulting in sheep jumping through fences. I believe that an increase in traffic caused by further Luv a Duck expansion will only increase the risks to my stock and impeach my ability to shift my stock and access my properties.

The expansion at Mt Lee to 24000 ducks will increase the amount of noise present, not only in the roar of the ducks but also in traffic and machinery noise. I enjoy spending time in our scrub block which is directly south of Mt Lee, and I don't want to see it ruined by more dust, noise, odour and polluted runoff.

I would like to formally request copies of all documents associated with this planning permit application and would like it noted that I had previously requested copies and my request was denied, until Friday when you Andre, informed me that you had had a change of heart and would allow me to have copies which I would be able to receive on Monday 26th November 2018.

Yours sincerely

Roger Dahlenburg



ASSESS #	
ACTION	CPD
INFO	
X REF	

← deleted →

Nhill, 3418

23rd November 2018

Hindmarsh Shire Council
Planning Department
PO Box 250
Nhill 3418

To whom it may concern,

I'm writing to object to the proposed expansion of the Luv a Duck Developer farm (Mt Lee) at (Lot 1, PS432916) 142 Drapers Road, Winiam East.

This proposed expansion will increase traffic on the Winiam East Rd, which will affect me in the following ways;

- The standard of road in the Winiam East area is not good enough to cope with an increase in traffic. Edges of the road are already regularly breaking away, adding more large traffic will just cause the roads to deteriorate quicker.
- The roads are not wide enough to be able to safely move over when meeting oncoming traffic or being over taken.
- Luv a Ducks truck drive too fast and do not slow down or move over when they meet oncoming traffic.

I believe expanding luv a Ducks farm will make the Winiam and Winiam East area unsafe to drive in, and I enjoy driving out there.

Yours sincerely

Heather Dahlenburg



6 December 2018

Andre Dalton
Coordinator Planning and Development
Hindmarsh Shire Council
PO Box 250
NHIL VIC 3418

Dear Andre,

RE: Response to objections to Amendment to Planning permit 39/99
Property: "Mt Lee" 142 Drapers Road, Nhill 3418

Journeyman Planning continues to act on behalf of Luv-a-Duck in regard to the proposed expansion and further development of their Mt Lee Duck developer farm at the above mentioned property. Luv-a-Duck appreciates Council's quick assessment of the application and proceeding to the direction of notification of the application. Notification (all directed forms) was conducted on 14 November 2018 and concluded on the 28th November. A statutory declaration of such will be returned to Council shortly. It is understood that the application for amendment has received a total of three objections which have been reviewed and a response is provided below.

From review of the grounds of objections, the following issues appear to be the main concerns:

- Concern over the ability of local road, including Drapers Road and Winiam East Road to accommodate the additional traffic, with specific concerns being:
 - Condition of the edges of existing pavements;
 - Pot holes in Drapers Road;
 - Constructed width being insufficient for vehicles to safely pass oncoming traffic;
- Conflicts between vehicular traffic, farm machinery and movement of stock
- Concern over conflicts with tourism traffic
- Increase in noise from ducks, traffic and machinery.
- Impacts on amenity of scrub block of land from dust, noise, odour and polluted runoff.
- Increased odour impacts
- Permit preamble is too general and should limit the site to the type of duck farm
- Insertion of secondary consent provision unclear
- Not being provided with a copy of the application and requesting more time to make submissions
- Increase in numbers at Mt Lee will also increase ducks at Mt Gert and associated traffic.

A response to each of the grounds of objection are provided for Council's consideration in making their decision on the application for amendment:

- Concern over the ability of local roads, including Drapers Road and Winiam East Road to accommodate the additional traffic.

It is acknowledged that the expansion of the Mt Lee farm will result in an increase in traffic along local roads as additional deliveries will be required and more ducks will be brought to and from the farm. All forms of development, changes in use and changes in farm operations have the potential to increase the impact on local roads through heavier use. The purpose of the surrounding networks of roads is to service not only residences, however to facilitate the use of this land for agricultural purposes and to accommodate access for heavy vehicles. This development is encouraged by the planning scheme which acknowledges the role of infrastructure in being facilitatory of agricultural development.

With respect to Winiam East Road, the increase in movements to and from the site are not considered to be a significant increase in traffic volume above that which the road currently handles. This road is a local connector and is partly sealed to accommodate heavier vehicles. It is noted that Drapers Road and L Creek Road are unsealed lower order roads and that increased movements may impact on road conditions over time, however the roads are constructed to a good standard and the provision of access such as this is within the designated purpose of the road. It should also be noted that the local road accommodates very high volumes of truck movements during harvest periods. This usage is not prohibited and is as a result of legitimate agricultural uses just like that conducted by Luv-a-Duck.

- Conflicts between vehicular traffic, farm machinery and movement of stock

The primary function of the surrounding road network is to provide the necessary infrastructure to service the agricultural base of the area and the associated dwellings. The roads are used by domestic users, commercial traffic, farm traffic and also for the movement of stock between properties and this usage is permitted subject to compliance with general road safety rules and local laws permits for the movement of stock. It is noted that there is an obligation on drivers to give way to stock being moved and for drivers to travel at a safe speed where there are animals under control.

It is noted that the primary purpose of Drapers Road is the provision of vehicular access however it is fully acknowledged that road reserves within rural areas often have multiple functions, providing for at times the grazing of animals and movement of stock and also slow moving farm machinery. The movement of livestock on country roads can represent significant danger to the public, stock and stock handlers and it is the responsibility of all road users to be vigilant when travelling on roads that are regularly used for grazing or moving stock. It is not always possible to avoid conflicts in use of road reserves between stock movements and vehicular traffic, however it is for the suite of permits and road rules to control. The shared use of the local roads for the anticipated level of traffic proposed under the farm expansion and in consideration of how often stock may need to be moved is considered to be acceptable without any inherent dangers or conflicts.

- Concern over Tourism traffic

The primary purpose of Winiam E Road is to serve the local rural area. It is not a major tourist route, it is not promoted as a tourist route and it is considered to unlikely be used as such frequently. It is accepted that the Little Desert National Park attract visitors that may on occasion utilise the road, however this is not at such a volume that warrants consideration. The use of the surrounding roads for

farm traffic and truck is not unsafe for tourists and development within rural areas should not be hinge on the unfamiliarity of tourist drivers with rural roads and traffic conditions.

- Increase in noise from ducks, traffic and machinery.

The farm does not have any significant noise sources that can be heard much beyond the boundaries of the subject site and the nearest dwellings to the subject site are over 2.2 kilometres from the subject farm. This is a significant separation and more than sufficient to mitigate any and all noise impacts from the site. Being able to hear ducks on the property does not demonstrate material detriment. The use of the site is regulated under the EPAs NIRV requirements and the subject farm will easily be able to comply with these guidelines.

The movement of traffic and machinery on the site is additionally common place for a rural area and similar to that which would occur on surrounding properties as of right and all vehicles are required by EPA regulations to be appropriately muffled to control noise levels. The subject site is remote from any sensitive land use and will not cause any noise impacts.

- Increase in numbers at Mt Lee will also increase ducks at Mt Gert and associated traffic.

It has been explained as part of Luv-a-Duck's planning submissions that the expansion of the Mt Lee farm has a direct impact on the overall production throughout the whole growing system. It has been made clear that this will allow for an increase in duck numbers at the Mt Gert site, however that any increase at the site will still be within the current valid permit issued for the site. Any flow on impacts at Mt Gert are not specifically relevant to the consideration of this application as it is governed by its own separate use and development permit.

- Impacts on amenity of scrub block of land from dust, noise, odour and polluted runoff.

While the objector's enjoyment of the amenity of their scrub block is appreciated, it is not a reasonable consideration in the context of the zoning and purpose of the area to prioritise this passive enjoyment over the reasonable expansion of an agricultural use in a farming area. The subject site and surrounding land is within a Farming Zone which is specifically set aside for rural pursuits that are at times noise, generate odours, dust and other amenity impacts. The provisions of the planning scheme and policies focus on the preservation of the amenity for dwellings in rural areas however not vacant bush blocks. As stated above, the nearest dwelling to the farm is 2.2 kilometres away and the amenity of surrounding dwellings will not be affected by the farm expansion.

Additional, as can be seen from the EMP submitted with the application, the farm will be run in accordance with best practice environmental requirements and there are very limited offsite impacts from dust and certainly not from polluted runoff. There is no foundation for this ground of objection. Further it is noted that Luv-a-Duck, despite this being an existing and established use, has volunteered and requested Council to endorse the EMP under the amended permit which demonstrates their commitment to sound ongoing management of the farm.

- Increased odour impacts

The farming of ducks is not like other more intensive animal industries like piggeries or broiler farms where there can be substantial offsite impacts from odour and noise. Ducks do not generate the same degree of impacts and further the subject farm is a developer farm, not a duck meat grower farm and as such the placement density on site is much reduced compared to other sites. There is no history of odour complaints about the current operations with respect to odour and the site will be operated in

accordance with a thorough EMP with procedures in place to manage odour impacts. Further, as stated previously, the farm is well separated from sensitive receptors like dwellings to allow for the dissipation and dispersal of any minor odours.

- Permit preamble is too general and should limit the site to the type of duck farm

The existing permit was granted over 19 years ago and poorly describes the actual permission granted for the subject land, which is the use and development of a poultry farm. The permit does not, despite it being clear from decision documents, that it also grants permission for the use of the site and also conflicts with other conditions of the permit by limiting the number of ducks. The change to the permit preamble only seeks to correct previously poor wording and does not seek any change to the nature of the original permission.

The current permission additional does not include a narrowing of the type of duck sheds or farm allowed. It is reliant on the conditions of the permit to control the nature and extent of the use and this will still be the case after the amendment of the permit. It is not considered warranted to confine the farm to only being a breeder or developer farm given duck numbers will still be restricted under the permit. There is no requirement for the permit to define the type of farm and there is no such land use definition within the scheme. Poultry Farm is currently the most appropriate definition.

- Insertion of secondary consent provision unclear

Nearly every permit issued within Victoria currently would contain provisions that enable permit holders to seek the consent of Council (as the responsible authority) to vary or change requirements of the plans or permit. It is very common place and a justification or reasoning for requesting this to be included does not need to be provided. The discretion to permit changes under a permit vests with the responsible authority and should they disagree with any request for consent they can direct the applicant to apply pursuant to Section 72 of the Act instead.

Further, the degree of turnover of staff within Council is not a reason to deny Luv-a-Duck to access reasonable secondary consent provisions under a planning permit. A responsible officer of Council in making any decision is obligated to inform themselves of the context and background of any decision before exercising their discretions in approving or recommending to Council to approve any amendment permission. Whether the permission is considered under secondary consent or Section 72 is of no consequence.

- Not being provided with a copy of the application and requesting more time to make submissions

Council has directed notice of the application under Section 52 of the Act and this has been duly conducted and completed. It is acknowledged that parties can make objections to the application up until a decision is made by Council on the application, however Council is only required to make the application available for viewing for a minimum of 14 days. It is noted that the objectors received direct notice of the application and have had sufficient time to review the application.

That said, Luv-a-Duck does not offer any objection to a copy of the application being provided for the consideration of the objectors as it is committed to an open and transparent process. However it is noted that the provision of documentation after notice as part of a live application is at the discretion of Council.

It is hoped the above assessment of objections and responses is of assistance to Council in its consideration of the application for amendment. It is respectfully submitted that the grounds of objection raised are not substantiated by any evidence or planning assessment and shouldn't result in Council not supporting the proposed amendment.

Further, Luv-a-Duck appreciates and respects Council's attempts to facilitate a consultation meeting with the objectors in order to further explore their grounds of objection and with a view towards hopefully mediating an outcome. Luv-a-Duck, as demonstrated by it running an information evening prior to the lodgement of this amendment, is committed to engaging openly and transparently with surrounding property owners on all of its farm expansions and it is regrettable that a time could not be agreed to enable further discussions.

It is understood that it is proposed to present this amendment to Council at its 19 December 2018 meeting. Luv-a-Duck in the meantime remains open to engaging with the objectors, though Council, in relation to any changes or improvements that could be made to the application that could work towards addressing their concerns.

Please contact me should you need any of the above clarified or need to discuss.

Regards

A handwritten signature in black ink that reads "Angus McGuckian". The signature is written in a cursive, flowing style.

Angus McGuckian
JOURNEYMAN PLANNING